

RESOLUTION NO. 2022-164

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE FINDING THE CORNERSTONE VILLAGE PROJECT (PLNG22-003) EXEMPT FROM CEQA PURSUANT TO STATE CEQA GUIDELINES SECTION 15332 AND APPROVING A MINOR DESIGN REVIEW WITH DEVIATION, TENTATIVE PARCEL MAP, AND DENSITY BONUS FOR THE PROJECT LOCATED AT 9270 BRUCEVILLE ROAD (APN: 116-0061-011)

WHEREAS, the Development Services Department of the City of Elk Grove (the “City”) received an application on January 27, 2022, from Cornerstone Village – Elk Grove, LP (the “Applicant”) requesting a Minor Design Review with Deviation for building height, Density Bonus, and Tentative Parcel Map for the Cornerstone Village Project (the “Project”); and

WHEREAS, the proposed Project is located on real property in the incorporated portions of the City more particularly described as APN: 116-0061-011; and

WHEREAS, the Development Services Department considered the Project request pursuant to the Elk Grove General Plan, the Elk Grove Municipal Code (EGMC) Title 23 (Zoning), Title 22 (Land Development), the Elk Grove Design Guidelines, and all other applicable State and local regulations; and

WHEREAS, the Planning Commission of the City (the “Planning Commission”) held a duly-noticed public hearing on June 2, 2022, as required by law to consider all information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting; and

WHEREAS, the City Council held a duly-noticed public hearing on June 22, 2022, as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Elk Grove hereby finds the Project exempt from CEQA pursuant to State CEQA Guidelines Section 15332 (In-Fill Development) based upon the following findings:

CEQA

Finding: The Project is exempt from CEQA pursuant to State CEQA Guidelines Section 15332 (In-Fill Development).

Evidence: CEQA requires analysis of agency approvals of discretionary “projects.” A “project,” under CEQA, is defined as “the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment” (State CEQA Guidelines Section 15378). The proposed Project is a project under CEQA.

The Project is exempt from CEQA pursuant to State CEQA Guidelines Section 15332 (In-Fill Development Projects). Section 15332 exempts from further CEQA review those projects which: are consistent with the General Plan and applicable zoning designation and regulations; are within city limits on a site no larger than five acres substantially surrounded by urban uses; are located on a site that has no value as habitat for rare or endangered species; would not result in significant

adverse effects related to traffic, noise air quality or water quality; and are located on a site that can be adequately served by all required utilities and public services.

The Project consists of a Minor Design Review with deviation for a new multi-unit residential development consisting of 84 units. The Project also includes a Tentative Parcel Map to subdivide the site into two parcels and a Density Bonus to allow for increased density on the site as well as a concession/incentive for reduced parking. The Project is consistent with the General Plan and Zoning Code, is within the City limits on less than five acres, and the Project site has no value for endangered, rare, or threatened species. In February 2019, the City Council adopted a new General Plan which relied on Vehicle Miles Traveled (VMT) as a measure of transportation impacts. Kimley Horn prepared a VMT Analysis for the Project (March 17, 2022) which was reviewed by City's Traffic Engineer who made the determination that the Project is expected to result in a finding of less than significant for CEQA purposes with regards to transportation. Finally, all public services and facilities are available and the area is not considered environmentally sensitive.

Staff reviewed the proposed Project and did not find any evidence that special circumstances exist that would create a reasonable possibility that the proposed Project will have a significant adverse effect on the environment. Therefore, the proposed Project qualifies for the exemption under CEQA Guidelines Section 15332.

AND, BE IT FURTHER RESOLVED, that the City Council of the City of Elk Grove hereby approves the Minor Design Review with deviation, Density Bonus, and Tentative Parcel Map for the Cornerstone Village Project (PLNG22-003), as described in Exhibit A and illustrated in Exhibit B, subject to the conditions of approval in Exhibit C (all incorporated herein by this reference), based upon the following findings:

Minor Design Review

Finding #1: The proposed project is consistent with the objectives of the General Plan, complies with applicable Zoning regulations, Elk Grove Design Guidelines, and Improvement Standards adopted by the City.

Evidence #1: The Project plans have been reviewed in accordance with the General Plan, Zoning Code, and Elk Grove Design Guidelines. The proposed Project is consistent with the following General Plan Policies:

Policy LU-2-1: Promote a greater concentration of high-density residential, office commercial or mixed-use sites and the population along identified transit corridors and existing commercial corridors, in activity centers, and at other appropriate locations.

Policy LU-2-4: Require new infill development projects to be compatible with the character of surrounding areas and neighborhoods, support increased transit use, promote pedestrian and bicycle mobility, and increase housing diversity.

Additionally, the Project complies with the development standards of Title 23, Zoning, including setbacks, height limits, landscaping requirements, and bicycle parking requirements with approval of the Design Review Deviation as detailed in Table 2 of the Project's staff report. The Project design includes a variety of building materials,

including fiber cement lap siding, brick block, and metal balcony railings. Overall, the building design strategically gathers and breaks façade planes and roof lines to reduce the overall massing of the building. Colors include white, tan, gray, yellow, and dark blue. Materials, detailing, and colors are carried over to all building facades. The Project's colors and materials are complementary to the surrounding neighborhood character, which is consistent with the requirements of the Elk Grove Design Guidelines. The proposed site design unifies the existing church building and new buildings into a single community. A public courtyard will span across the entry drive to connect the residential community building to the church. The apartment buildings surround a central courtyard to allow for community functions, and neighbors to interact. The community building adjacent to the church will be more civic in nature than the apartments yet uses the same materials and details as the apartments. It will be visible from Bruceville Road as a visual cue for the community and a clear point of entry for persons visiting the site.

Finding #2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence #2: The site plan, building elevations, and landscape plans have been reviewed in accordance with the Elk Grove Design Guidelines for multi-family development, and it has been concluded that the architecture and site planning meet all applicable design requirements. The Project design includes a variety of building materials, including fiber cement lap siding, brick block, and metal balcony railings. Overall, the building design strategically gathers and breaks façade planes and roof lines to reduce the overall massing of the building. Colors include white, tan, gray, yellow, and dark blue. Materials, detailing, and colors are carried over to all building facades. The Project's colors and materials are complementary to the surrounding neighborhood character, which is consistent with the requirements of the Elk Grove Design Guidelines. The proposed site design unifies the existing church building and new buildings into a single community. A public courtyard will span across the entry drive to connect the residential community building to the church. The apartment buildings surround a central courtyard to allow for community functions, and neighbors to interact. The community building adjacent to the church will be more civic in nature than the apartments yet uses the same materials and details as the apartments. It will be visible from Bruceville Road as a visual cue for the community and a clear point of entry for persons visiting the site.

Finding #3: The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signage and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence #3: The proposed Project has been designed consistent with the requirements of the Elk Grove Design Guidelines for multi-family development. The proposed architecture is a contemporary design incorporating craftsman-style design elements. The Project design includes a variety of building materials, including fiber cement lap siding, brick block, and metal balcony railings. Overall, the building design strategically gathers and breaks façade planes and roof lines to reduce the overall

massing of the building. Colors include white, tan, gray, yellow, and dark blue. Materials, detailing, and colors are carried over to all building facades. The Project's colors and materials are complementary to the surrounding neighborhood character, which is consistent with the requirements of the Elk Grove Design Guidelines. The proposed site design unifies the existing church building and new buildings into a single community. A public courtyard will span across the entry drive to connect the residential community building to the church. The apartment buildings surround a central courtyard to allow for community functions, and neighbors to interact. The community building adjacent to the church will be more civic in nature than the apartments yet uses the same materials and details as the apartments. It will be visible from Bruceville Road as a visual cue for the community and a clear point of entry for persons visiting the site.

Finding #4: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence #4: The Project site includes pedestrian access points from Bruceville Road for pedestrian circulation to the public right-of-way and throughout the site. Vehicle entryways are clearly defined to avoid circulation conflict. Therefore, the Project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Finding #5: For residential subdivision design review applications, the residential subdivision is well integrated with the City's street network, creates unique neighborhood environments, reflects traditional architectural styles, and establishes a pedestrian friendly environment.

Evidence #5: The Project does not require a tentative subdivision map; therefore, this finding is not applicable.

Finding #6: The deviation improves the usability of the site and its relationship to surrounding development, including but not limited to pedestrian and vehicular movement and accessibility, architectural design, and landscaping and site amenities or otherwise does not impact the usability of the site or negatively impact adjoining properties.

Evidence #6: The Project includes a deviation for building height. Pursuant to EGMC Title 23, the maximum allowed height in the RD-15 zone is 35 feet. The Project's proposed maximum height is 46'-10". The proposed buildings are setback more than 25 feet from the existing single-unit residential development to the west and south. Additionally, the proposed buildings will be screened by existing mature trees. Since the Project site contains an existing church, cell tower, and associated site improvements, including existing driveway locations, the proposed height of the buildings allows for better circulation within the site for vehicles, pedestrians, and fire access requirements in order to meet the density proposed for the Project as allowed under the Density Bonus request described below. The proposed deviation meets the intent of the Zoning Code to improve the usability of the site regarding vehicular and pedestrian movement and accessibility as well as architectural design and landscaping.

Tentative Parcel Map

Finding: None of the findings (a) through (g) below in Section 66474 of the California Government Code that require a City to deny approval of a tentative map apply to this Project.

- a. That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.
- b. That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
- c. That the site is not physically suitable for the type of development.
- d. That the site is not physically suitable for the proposed density of development.
- e. That the design of the subdivision or the proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- f. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- g. That the design of the subdivision or type of improvements will conflict with easements acquired by the public at large, for access through or use of, property within the proposed subdivision.

Evidence:

- (a) As described in the Project staff report, the proposed Project is consistent with the Elk Grove General Plan. The proposed map is consistent with the land use designation and policies in the Elk Grove General Plan, which has designated this site as Medium Density Residential. Pursuant to Section 23.50.040, for developments providing 100% percent of the units for lower income housing households, the housing development is eligible for a flat 80% of the number of units for lower income households. Therefore, the Project is eligible for a density bonus of 27 du/acre. The Project's proposed density is 26.9 du/acre, which is consistent with the requirements.
- (b) As described in the Project staff report, the proposed Project, the proposed subdivision design, lot sizes, lot configurations, and proposed infrastructure improvements are consistent with EGMC Title 23, Zoning development standards, Title 22 (Land Development), and the General Plan land use designation for the proposed site.
- (c) The site is physically suitable for multi-unit residential development. Access to the site is available from Bruceville Road, a public street. Necessary services and facilities are available or can be provided. Therefore, the site is physically suitable for multi-family development.
- (d) Services and facilities to serve the Project, including water, sewer, electricity, and other utilities, are available. Therefore, the site is appropriate for the proposed density of development.
- (e) The Project site is not located in an environmentally sensitive area and no other special circumstances exist that would create a reasonable possibility that the Project will cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

- (f) The design of the subdivision will not cause serious public health problems based upon the Project's consistency with EGMC Title 23, Zoning development standards and the General Plan land use designation for the site. The site has access to improved public roads and is not located within a flood plain.
- (g) The design of the subdivision will not conflict with easements acquired by the public at large as demonstrated by review of the Project by the City's Public Works Department.

Density Bonus

Finding #1: The Project is eligible for a Density Bonus per the requirements of Elk Grove Municipal Code Chapter 23.50.

Evidence #1: Pursuant to EGMC Chapter 23.50, the City shall grant a Density Bonus, with concessions or incentives, when the Applicant agrees to construct a residential development that contains at least 10 percent of the total units of a housing development for lower-income households (defined as target units). The Project is proposed to provide 100 percent of the dwellings as target units. Therefore, the Project is eligible for a Density Bonus.

Finding #2: The City cannot make any of the findings specified in EGMC Section 23.50.070 which would preclude approval of a Density Bonus.

Evidence #2: Pursuant to EGMC Section 23.50.070(C), the City shall grant the incentive(s) and concession(s) requested by the Applicant unless the City makes a written finding, based upon substantial evidence, of any of the following:

- 1) The concession or incentive is not required in order to provide for affordable housing costs, as defined in Section 50052.5 of the Health and Safety Code, or for rents for the targeted units to be set as specified in subdivision (c).
- 2) The concession or incentive would have a specific adverse impact, as defined in paragraph (2) of subdivision (d) of Section 65589.5 of the California Government Code, upon public health and safety or the physical environment or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to low- and moderate-income households.
- 3) The concession or incentive would be contrary to state or federal law.

None of these deterrent findings would be applicable to the proposed request. Pursuant to EGMC Section 23.50.040, for developments providing 100% percent of the units for lower income housing households, the housing development is eligible for a flat 80% of the number of units for lower income households. Therefore, the Project is eligible for a density bonus of 27 du/acre. The Project's proposed density is 26.9 du/acre, which is consistent with the requirements. The concession or incentive is required in order to provide for affordable housing costs, as the units could not be constructed at the proposed density without the proposed reductions in parking. The concessions or incentives would not have a specific adverse impact upon public health and safety or the physical environment. The Project proposes the following unit counts: 41 one-bedroom units, 22 two-bedroom units, and 21 three-bedroom units.

Therefore, based on the alternative parking ratios allowed through the Density Bonus concessions, the Project would require 106 on-site parking spaces. The Project proposes 106 parking spaces, which is consistent with the Density Bonus parking standards. The proposed parking concession is not contrary to any state or federal law.

PASSED AND ADOPTED by the City Council of the City of Elk Grove this 22nd day of June 2022



BOBBIE SINGH-ALLEN, MAYOR of the
CITY OF ELK GROVE

ATTEST:


JASON LINDGREN, CITY CLERK

APPROVED AS TO FORM:

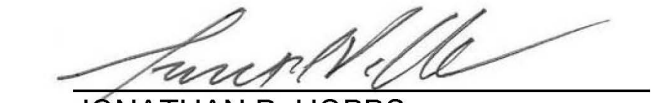

JONATHAN P. HOBBS,
CITY ATTORNEY

Exhibit A
Cornerstone Village (PLNG22-003)
Project Description

PROJECT DESCRIPTION

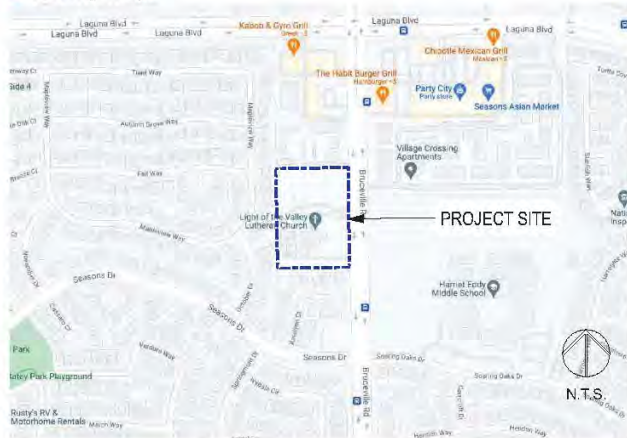
The proposed Cornerstone Village Project (the "Project") consists of a Minor Design Review with deviation for a new multi-unit residential development consisting of 84 units. The Project also includes a Tentative Parcel Map to subdivide the site into two parcels and a Density Bonus to allow for increased density on the site as well as a concession/incentive for reduced parking.

Cornerstone Village Elk Grove

9270 Bruceville, Elk Grove, CA, 95758



Vicinity Map



Property Owner
Light of the Valley
9270 Bruceville Road
Elk Grove, CA 95758
916 691 3968

Applicant/Developer
Cornerstone Village Elk Grove, L.P.
1388 Sutter Street, 11th Floor
San Francisco, CA 94109
415 345 4400

Architect
Craig Stradley, Mogavero Architects
1331 T St
Sacramento, CA 95811
(916) 341 1033

Civil Engineer
James McCurdy
980 9th St, Suite 2300
Sacramento, CA 95814
(916) 556 5800

Landscape Architect
Bill Roach, Roach & Campbell
111 Scappes Drive, Sacramento, CA 95825
(916) 945 8003

Architectural Index

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2. Site and Lighting Plan
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4. Building A Elevations
5. Building A Floor Plans
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11. Building B Third Floor Plan
12. Building B Roof Plan
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14. Trash Enclosure
15. Color Materials and Signage

LANDSCAPE

- L1.1 Landscape Plan
- L1.2 Plant Legend

CIVIL

- TM-1. Tentative Map - Existing
- TM-2. Tentative Map - Proposed
- C3.0 Grading Plan
- C4.0 Utility Plan
- C5.0 Stormwater Quality Plan

Project Description

The proposed development for 9270 Bruceville is a 84 unit, multi-family, affordable apartment complex. The site is approximately 4 acres. There is an existing church on site that is being used by the Light of the Valley congregation.

The site will be divided into two parcels; one for the residential complex and one for the existing church building and tower. This application focuses on the lot split, the development of the residential project, and surrounding area of the existing church and tower. The church and its courtyard to the east, will be remodeled as part of a separate planning application. One of the goals of this development is to integrate the church and residential project so that they complement each other.

The residential development consists of 84 dwelling units with common facilities and associated site improvements.

- Address** 9270 Bruceville, Elk Grove, CA, 95758
- APN** 116 0061 011
- Net Site Area** 4.09 acres Residential Parcel – 3.12 acres; Church Parcel – 0.97 acres

Residential Parcel

- Total Building Coverage Area** 97,945 sf
- Land Use Regulations**
Zoning: RD 15
General Plan Designation: Medium Density Residential
Project Density: 15 units/acre; State Density Bonus allows 80% increase – 27 units/acre
Project Density of Residential parcel – 26.9 units/acre
- Building Height**
Limit: 35' 0"
Provided: 29' 7"
- Setbacks** Determined through the design review process.
- Parking**
Required with Density Bonus:
1 space per one bedroom unit
1.5 spaces per two bedroom unit
1.5 spaces per three bedroom unit
41 1 bedroom units x 1 space – 41
22 2 bedroom units x 1.5 space – 33
21 3 bedroom units x 1.5 space – 31.5
total required spaces 105.5
Provided: 106 total spaces
44 standard uncovered
24 compact spaces
30 standard tuck under
6 accessible tuck under
2 accessible uncovered
- Bicycle Parking**
Required: 1 space per 3 Units: 1/3 x 85 – 29
Provided: 38

Building and Unit Summary

Unit Summary per Building					
	One Bedroom	Two Bedroom	Three Bedroom	Total Units Per Building	
Building A	4 Units	3 Units	3 Units	1,216.5 sf	10 Units
Building B	17 Units	4 Units	3 Units	1,141 sf	24 Units

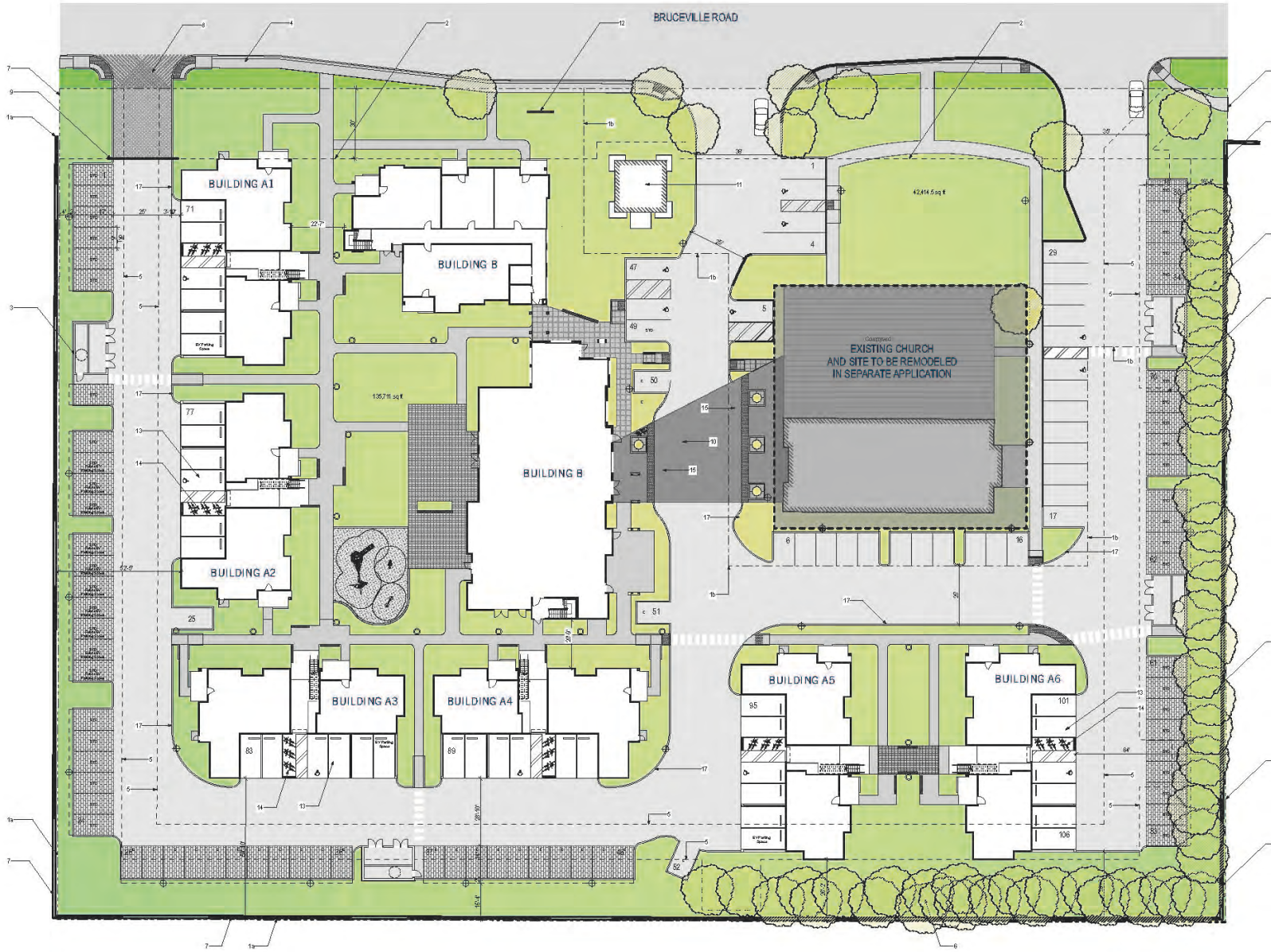
Building and Overall Unit Summary					
	Per Building Typo A	Number of Building Typo A on Site	Per Building Typo B	Number of Building Typo B on Site	Total on Site
One Bedroom	4 Units	6	17 Units	1	41
Two Bedroom	3 Units	6	3 Units	1	21
Three Bedroom	3 Units	6	3 Units	1	21
Manager's Unit (2-bed)	1 Units	0	1 Units	1	1
Total Units on Site					84 Units

Building Area Summary				
	First Floor	Second Floor	Third Floor	Total
Building A	3,937 sf	3,359 sf	3,744 sf	11,540 sf
Building B	10,423 sf	8,368 sf	9,411 sf	28,705 sf

*Building Area includes Stairs, Corridor Walkways and Porches/Balconies

Church Parcel

- Parking**
Original planning application had 32 parking spaces.
Provided: 34 total spaces
16 standard spaces
11 compact spaces
5 accessible
- Bicycle Parking**
To be determined at time of church remodel application.



Site Plan Keynotes

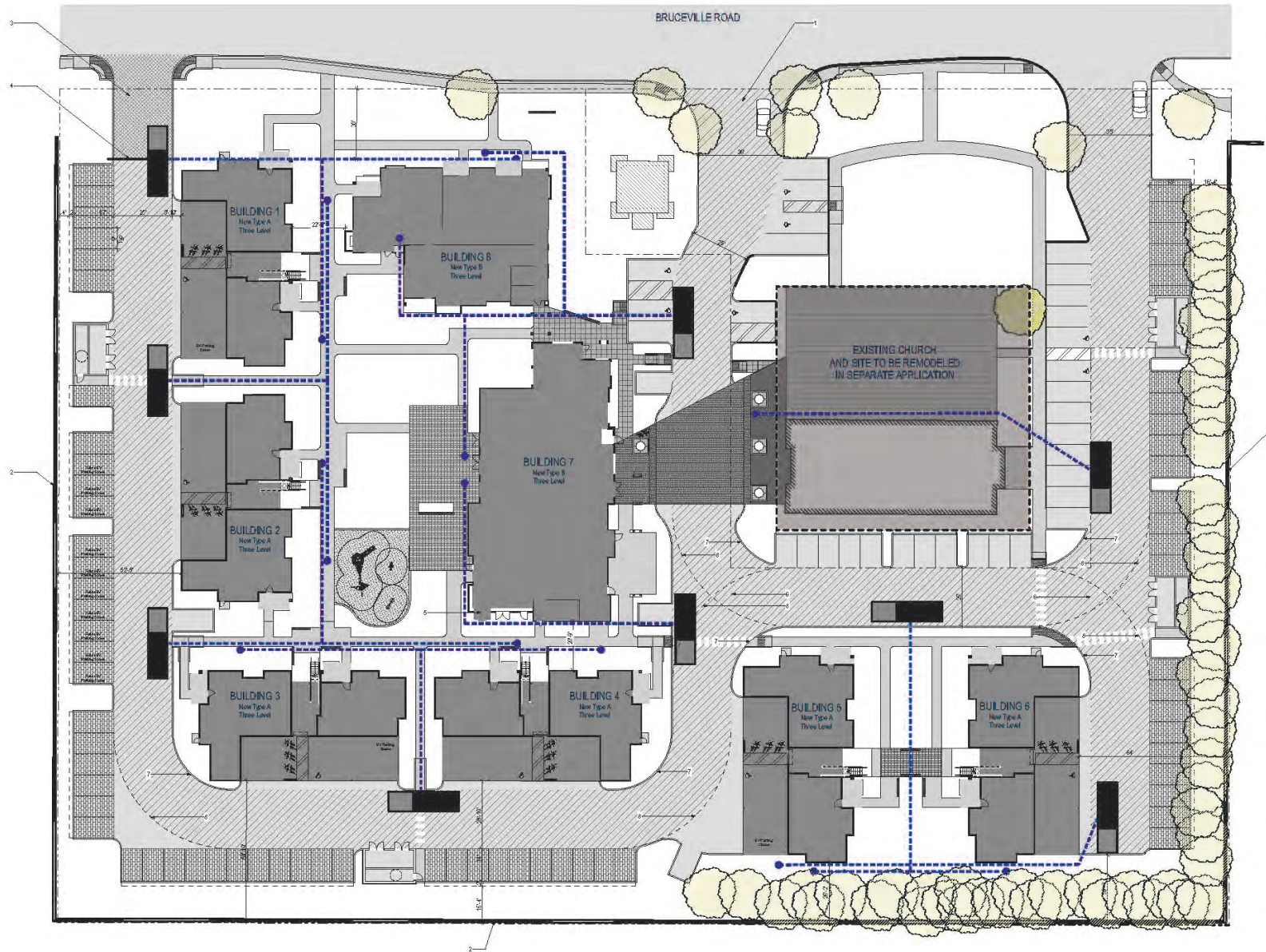
- 1. Existing Property Lines
- 2. Proposed Property Lines
- 3. Setback
- 4. Truck Enclosure
- 5. New Sidewalk
- 6. Utility Enclosure to be removed
- 7. Existing fence wall to remain and be reset as required
- 8. Emergency Vehicle Access only
- 9. Sliding Gate for E.V.A.
- 10. Specialty paving
- 11. Existing tower to remain
- 12. Movement Sign
- 13. Two 3' Under Parking
- 14. Stock Pile
- 15. Loading/Unloading Zone
- 16. Visibility corner lanes per City Standard ST 26.1
- 17. Curb shall be painted red with approved traffic grade paint. Lettering shall be white stencil, 3" tall with a 3/4" stroke. Stenciling shall be located every 25' O.C.

Legend

- 1" Tall parking pole fixture
- 10' Tall pole-in-courtyard fixture
- Existing trees to remain

Deviation from City Standard: City Standards require 200' between curb cut-off driveway. The central and southern curbs are less than 200' apart. Note that the northern curb is for 200' only and has a gate with a box.

■ Site and Lighting - scale 1" = 20'



■ Fire Access Plan Kynotes

1. Main Vehicle Entrance.
2. Existing wall to remain and be reset as required.
3. Emergency Vehicle Access only
4. Sliding Gate for E.V.A.
5. Fire Control Room.
6. Rolled Curve.
7. 25' Inner Radius.
8. 50' Outer Radius.

■ Fire Access Legend

- New Buildings to be constructed
- Emergency Vehicle Access - 20' wide
- Existing Tower to remain
- Fire Apparatus
- 150' Hose Pull

■ Fire Access - scale 1" = 20'





■ Front Elevation - scale 1/8" = 1'-0"



■ Left Elevation - scale 1/8" = 1'-0"



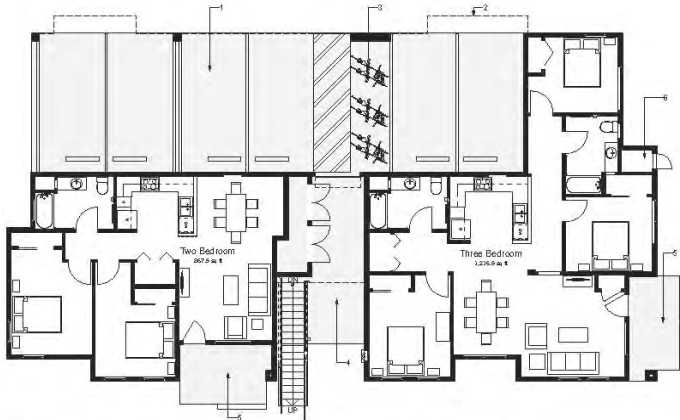
■ Rear Elevation - scale 1/8" = 1'-0"



■ Right Elevation - scale 1/8" = 1'-0"

■ Elevation Keynotes - Building A

1. Composition Shingle Roof.
2. White Vinyl Windows.
3. Fiber Cement Lap siding Painted: Dunn Edwards Droplets DEW 381.
4. Fiber Cement Lap siding Painted: Dunn Edwards Pigeon Gray DE 6214.
5. Fiber Cement Lap siding Painted: Dunn Edwards Northern Pond DE 3870.
6. Metal Guardrail/Sunshade/Downspout Painted: Dunn Edwards Dusty Dream DE 6312.
7. Brick Block: Muddox Tumbleweed.



■ Ground Floor - scale 1/8" = 1'-0"



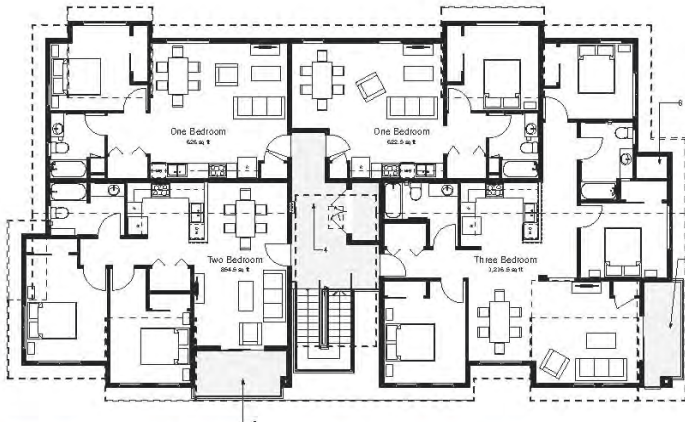
■ Second Floor - scale 1/8" = 1'-0"

■ Floor Plan Keynotes

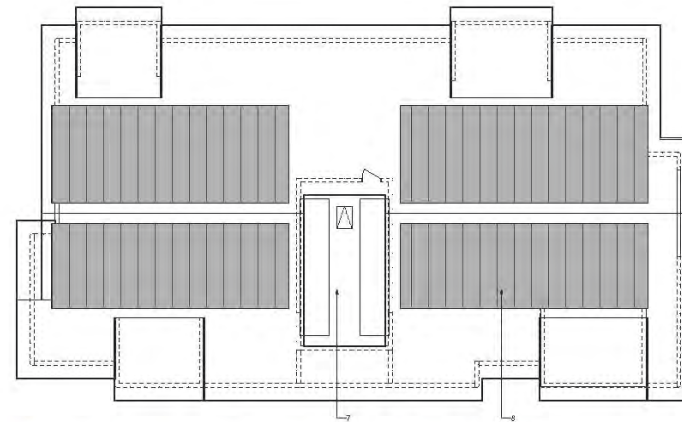
1. Truck Under Parking
2. Use of Building/Roof Above
3. R-Value R-10
4. Covered Walkway/Bike Balcony
5. P-Value Floor/Balcony
6. Floor Room
7. Mechanical Wall
8. Solar Panels

■ Building A Summary

- 3 Three Bedroom Units
 - 3 Two Bedroom Units
 - 4 One Bedroom Units
- Three Bedroom: 1,236.9 SF
 Two Bedroom: 862.5 SF
 One Bedroom Type A: 625.5 SF
 One Bedroom Type B: 622.5 SF
 Total building area including covered outdoor area: 3,927 SF



■ Third Floor - scale 1/8" = 1'-0"



■ Roof Plan - scale 1/8" = 1'-0"



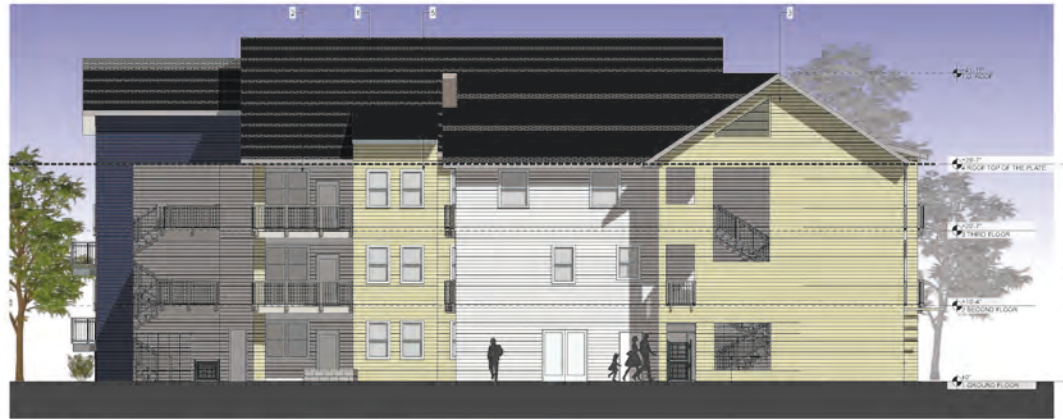
■ Section 1 - scale 1/8" = 1'-0"



■ Section 2 - scale 1/8" = 1'-0"



■ South Elevation - scale 1/8" = 1'-0"



■ West Elevation - scale 1/8" = 1'-0"

■ Elevation Keynotes -

- 1. Composition Shingle Roof.
- 2. White Vinyl Windows.
- 3. Fiber Cement Lap siding Painted: Dunn Edwards Olive Oil DE 5506.
- 4. Fiber Cement Lap siding Painted: Dunn Edwards Black River Falls DEA 189.
- 5. Fiber Cement Lap siding Painted: Dunn Edwards Droplets DEW 381.
- 6. Fiber Cement Lap siding Painted: Dunn Edwards Pigeon Gray DE 6214.
- 7. Metal Guardrail/Sunshade/Downspout Painted: Dunn Edwards Dusty Dream DE 6312.
- 8. Concrete Column Base.
- 9. Storefront Window.
- 10. Brick Blocks: Madison Tumbleweed.
- 11. Metal screens painted Dunn Edwards Dusty Dream DE 6312.

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■ East Elevation - scale 1/8" = 1'-0"

■ Elevation Keynotes -

1. Composition Shingle Roof.
2. White Vinyl Windows.
3. Fiber Cement Lap siding Painted: Dunn Edwards Olive Oil DE 5506.
4. Fiber Cement Lap siding Painted: Dunn Edwards Black River Falls DEA 189.
5. Fiber Cement Lap siding Painted: Dunn Edwards Droplets DEW 381.
6. Fiber Cement Lap siding Painted: Dunn Edwards Pigeon Gray DE 6214.
7. Metal Guardrail/Sunshade/Downspout Painted: Dunn Edwards Dusty Dream DE 6312.
8. Concrete Column Base.
9. Storefront Window.
10. Erick Block: Muddox Tumbleweed.
11. Metal screen painted Dunn Edwards Dusty Dream DE 6312.



■ North Elevation - scale 1/8" = 1'-0"



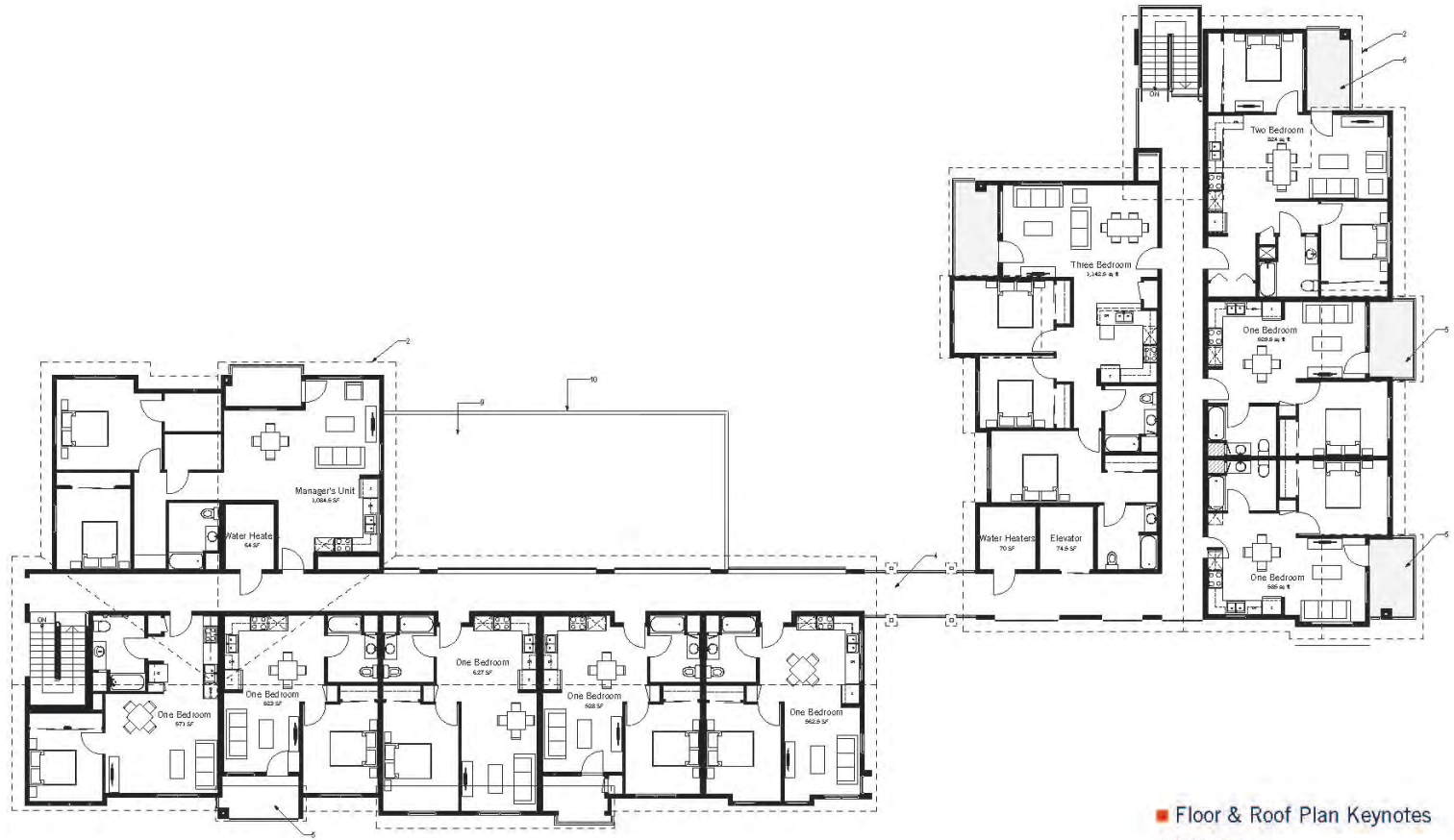
■ Building B - Ground Floor Plan - scale 1/8" = 1'-0"



■ Floor & Roof Plan Keynotes

- 1. Tick Under Parking
- 2. Line of Walling/Roof Above
- 3. Single Face
- 4. Ground Wall/Ex/Balco
- 5. Private Room/Entry
- 6. Roof Floor
- 7. Mechanical Wall
- 8. Solar Panel
- 9. Mechanical Upriser R/W Below
- 10. Perpet Floor

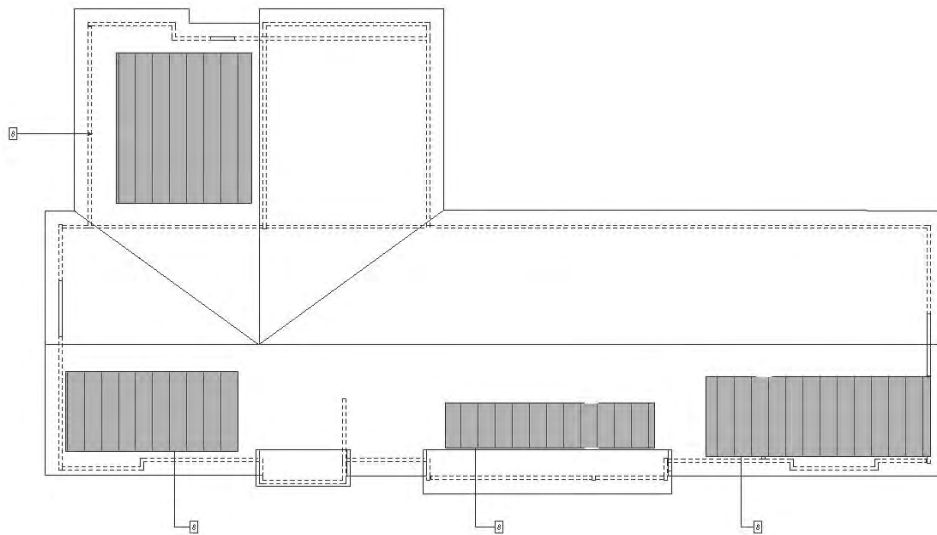
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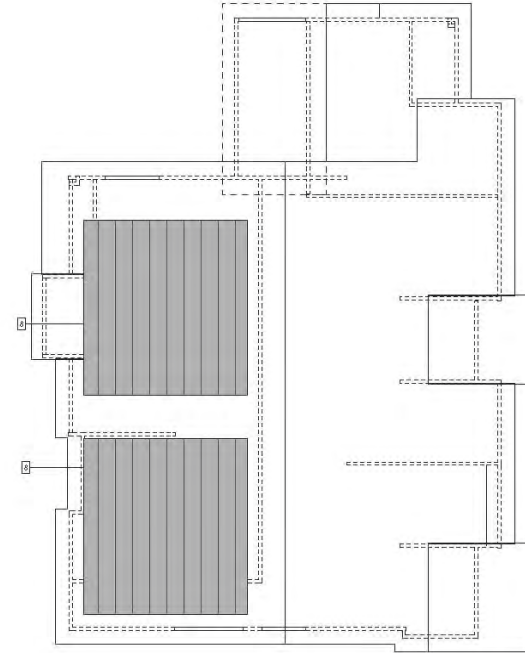
■ Building B - Third Floor Plan - scale 1/8" = 1'-0"

■ Floor & Roof Plan Keynotes

- 1. Tuck Under Parking
- 2. Line of Building/Roof Above
- 3. Ejecta Racks
- 4. Covered Walkway/Exit Balcony
- 5. Private Fire Balcony
- 6. Rear Room
- 7. Mechanical Well
- 8. Solar Panels
- 9. Mechanical Units on Roof Below
- 10. Fenestration



■ Building B - Roof Plan - scale 1/8" = 1'-0"



■ Floor & Roof Plan Keynotes

- 1. Tack Under Parking
- 2. Line of Existing/Roof Above
- 3. Ripout Ruck
- 4. Covered Walkway/Exit Balcony
- 5. Private Fire/Battery
- 6. User Room
- 7. Mechanical Well
- 8. Solar Panels
- 9. Mechanical Units on Roof Below
- 10. Porstep Below

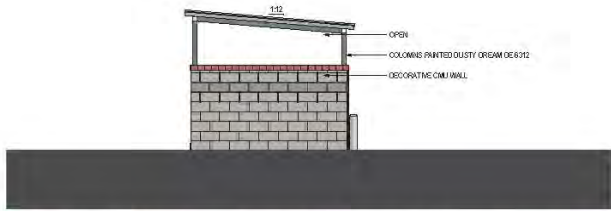
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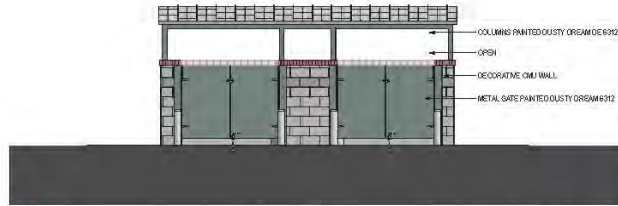
■ Building B Section 1 - scale 1/8" = 1'-0"



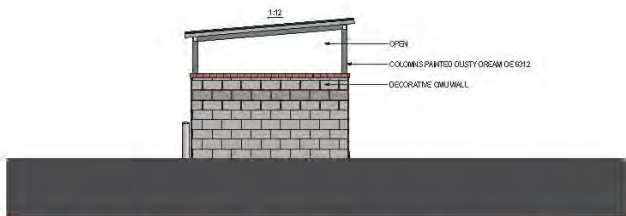
■ Building B Section 4 - scale 1/8" = 1'-0"



■ Trash Left Elevation - Scale 1/4" = 1'-0"



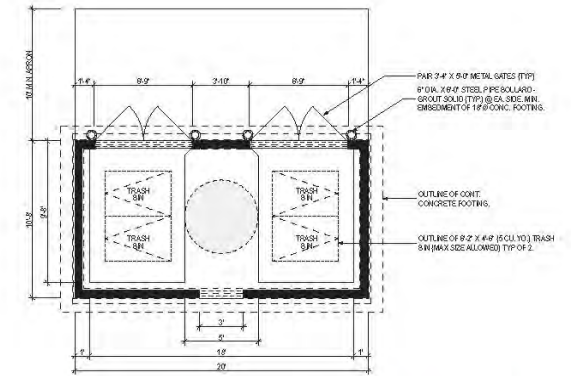
■ Trash Front Elevation - Scale 1/4" = 1'-0"



■ Trash Right Elevation - Scale 1/4" = 1'-0"



■ Trash Rear Elevation - Scale 1/4" = 1'-0"



■ Trash Plan - Scale 1/4" = 1'-0"



■ Parking Pole Mount Fixture



Dunn Edwards Olive Oil DE 5506



Dunn Edwards Pigeon Gray DE 6214



Dunn Edwards Dusty Dream DE 6312



Dunn Edwards Northern Pond DE 5870



Dunn Edwards Black River Falls DEA 189



Dunn Edwards Droplets DEW 381

■ Paint Colors



■ Pedestrian-Court Pole Mount Fixture



Composition Shingle Roof



Brick Block: Muddox Tumbleweed



■ Wall Mounted Area Lighting Fixture



White Vinyl Window with Trim



Fiber Cement Siding with Smooth Finish

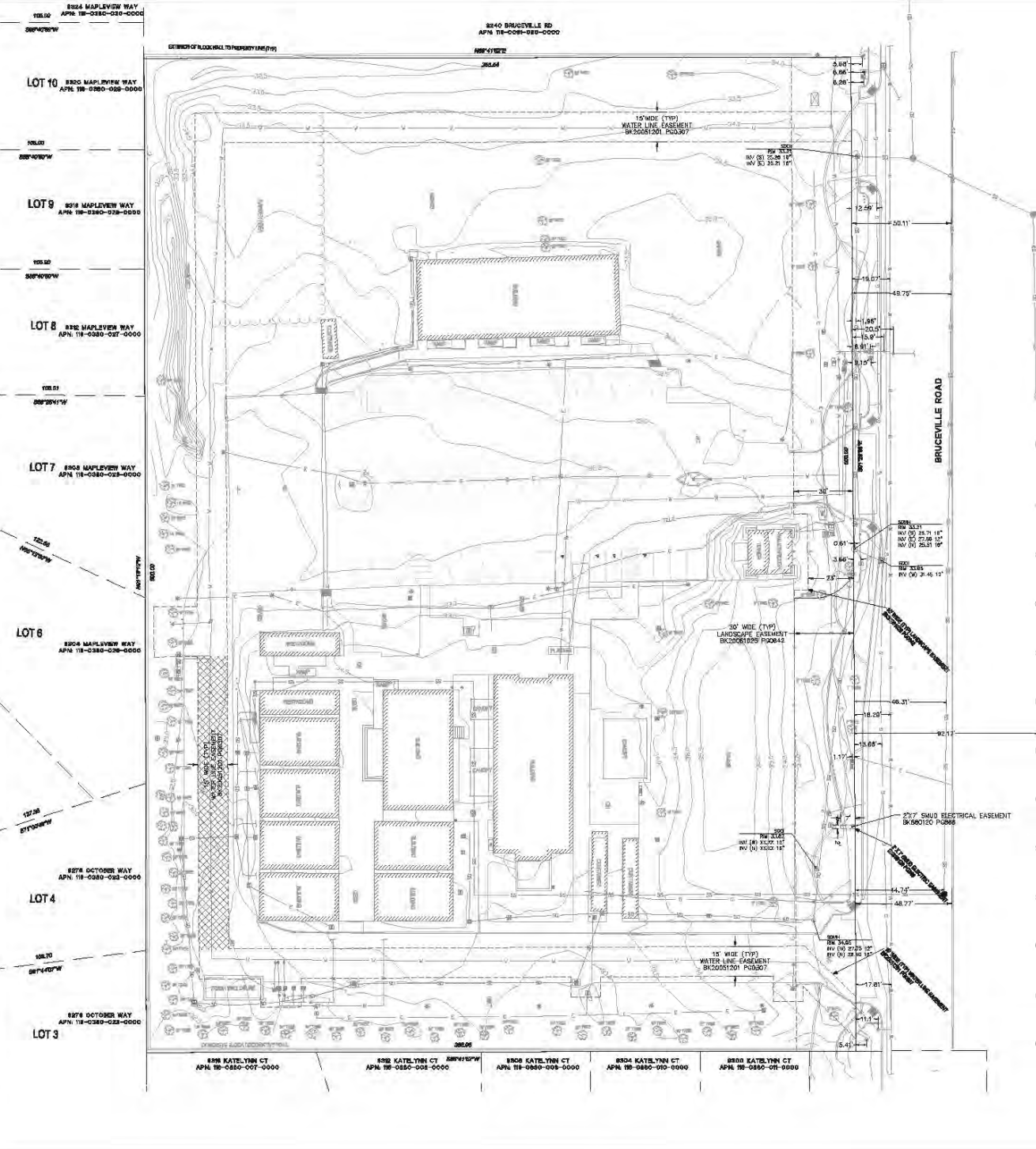
■ Materials

■ Monument Sign



DEVIATION FROM CITY STANDARD: CITY STANDARDS REQUIRE: 200' BETWEEN CURB CUTS/ DRIVEWAYS. THE CENTRAL AND SOUTHERN CURBS ARE LESS THAN 200' APART. NOTE THAT THE NORTHERN CURB IS FOR V.A. ONLY AND HAS A GATE WITH A KNOCK BOX. THIS HAS BEEN COORDINATED WITH TRAFFIC.





VICINITY MAP

NOT TO SCALE

LAUREN BLVD
BRUCEVILLE RD
PROJECT SITE

TENTATIVE MAP NOTES:

SUBDIVISION NAME: BRUCEVILLE CORNERSTONE VILLAGE
ASSESSOR'S PARCEL NUMBER (APN): 118-0081-011
PROPERTY ADDRESS: 8270 BRUCEVILLE ROAD, ELK GROVE, CA 95728
916-881-2688

PROPERTY OWNER:
LIGHT OF THE VALLEY
2770 BRUCEVILLE ROAD
ELK GROVE, CA 95728
916-881-2688

APPLICANT/DEVELOPER:
CORNERSTONE VILLAGE ELK GROVE, LP
1388 SUTTER STREET, 11TH FLOOR
SAN FRANCISCO, CA 94109
PHONE: 415-345-4400

PREPARED BY:
BKF ENGINEERS
JONATHAN SHATTUCK, PE
285 4TH ST, SUITE 2002
SACRAMENTO, CA 95814
PHONE: 916-352-9004
JSHATTUCK@BKF.COM

DATE OF SURVEY: OCTOBER 2020

FLOOD ZONE: X PROTECTED FROM THE 1% ANNUAL CHARGE DR
GREATER FLOOD HAZARD BY A LEVEE SYSTEM.

FLOOD MAP: 0606700318H

EXISTING/PROPOSED ZONING:
RD-15 - MEDIUM DENSITY RESIDENTIAL/NO CHARGE

EXISTING PARCEL AREA:
TOTAL PARCEL AREA = 178,162 S.F. / 4.08 AC

EXISTING WELLS/SHEDS:
NONE

FIRE DISTRICT:
022 FIRE DEPARTMENT
10273 E STOCKTON BLVD, ELK GROVE, CA 95824
916-405-7100

POLICE DISTRICT:
ELK GROVE POLICE DEPARTMENT
8401 LAGUNA PALMS WAY, ELK GROVE, CA 95728
916-478-5000

SCHOOL DISTRICT:
ELK GROVE UNIFIED SCHOOL DISTRICT
8910 ELK GROVE FLORIN RD, ELK GROVE, CA 95824
916-882-5085

PARK DISTRICT:
020 PARKS AND RECREATION
8820 ELK GROVE BLVD, ELK GROVE, CA 95824
916-405-3300

WATER DISTRICT:
ELK GROVE WATER SERVICE
8527 ELK GROVE BLVD, ELK GROVE, CA 95824
916-348-3500

RECYCLE DISTRICT:
CITY OF ELK GROVE RECYCLING AND WASTE
4258 DISPOSAL LN, ELK GROVE, CA 95824
916-691-2489

STORM DRAIN DISTRICT:
CITY OF ELK GROVE
8401 LAGUNA PALMS WAY
916-691-2489

SANITARY SEWER DISTRICT:
SACRAMENTO AREA SEWER DISTRICT
10905 105TH RD, SACRAMENTO, CA 95827
916-875-8730

ELECTRICAL DISTRICT:
SHUL
19277 F STOCKTON BLVD, ELK GROVE, CA 95824
988-742-7853

GIS DISTRICT:
0608 FLORIN PARKWAY RD, SACRAMENTO, CA 95828
916-742-8000

DESCRIPTION

REAL PROPERTY IN THE CITY OF ELK GROVE, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

ALL THAT PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 5 EAST, M.O.B.M., DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST LINE OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN A DEED BEARING TITLE ENTITLED BY SUPERIOR COURT FOR SACRAMENTO COUNTY IN SUIT NO. 85510, ENTITLED "THEODORE CHAISSÉ ET AL., VS. FRED C. GIBSON, ET AL.", IDENTIFIED COPY OF WHICH WAS RECORDED MARCH 26, 1951 IN BOOK 2012 PAGE 208, OPTICAL RECORDS FROM WHICH A 1 1/4" HIGH IRON PIPE MARKING THE NORTHWEST CORNER OF SAID SECTION 34 BEARS NORTH 01 DEGREES 28'18" WEST 256.86 FEET, SOUTH 86 DEGREES 12'04" WEST 254.28 FEET AND NORTH 00 DEGREES 07'56" WEST 446.30 FEET; THENCE FROM SAID POINT OF BEGINNING ALONG SAID EAST LINE SOUTH 01 DEGREES 28'18" EAST 800.00 FEET; THENCE SOUTH 86 DEGREES 41'32" WEST 308.88 FEET; THENCE NORTH 00 DEGREES 43'20" WEST 502.00 FEET; THENCE NORTH 88 DEGREES 41'32" EAST 355.34 FEET TO THE POINT OF BEGINNING.

EXISTING EASEMENTS

- 30' WIDE (TYP) LANDSCAPE EASEMENT (BK20061025 PK00642)
- 27' SHAD ELECTRICAL EASEMENT (BK060120 PK0685)
- 15' WIDE (TYP) WATER LINE EASEMENT (BK22081201 PK03007)

DATUM NOTE

ELEVATION BENCHMARK IS METAL SURVEY IRK SET IN CONCRETE PAD AT THE NORTH-EAST CORNER OF ELK GROVE BLVD AND BRUCEVILLE ROAD, STAMPED "KELLER 1987"

ELEVATION: 39.20 FEET
DRLIN: NAD83

EASEMENT NOTE

I HEREBY STATE THAT ALL EASEMENTS AS INDICATED BY FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY TITLE REPORT NO 344-4-822988, DATED AS OF DECEMBER 18, 2021 HAVE BEEN SHOWN HEREON AND/OR HAVE BEEN ACCORDATED FOR IN NOTE HEREON. ALL EASEMENTS PROPOSED TO BE ABANDONED OR OUTLINED AND/OR ALL EASEMENTS THAT CANNOT BE LOCATED ARE NOTED HEREON.

NAME: JONATHAN SHATTUCK
DATE: 5-10-2022

DATE: 5-10-2022

ENGINEER STATEMENT

THIS TENTATIVE SUBDIVISION MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

JONATHAN SHATTUCK, PE, PLS
ASSOCIATE
BKF ENGINEERS

DATE: 5-10-2022

GRAPHIC SCALE: 1"=20'

TENTATIVE PARCEL MAP FOR
BRUCEVILLE CORNERSTONE VILLAGE
EXISTING CONDITIONS

ELK GROVE

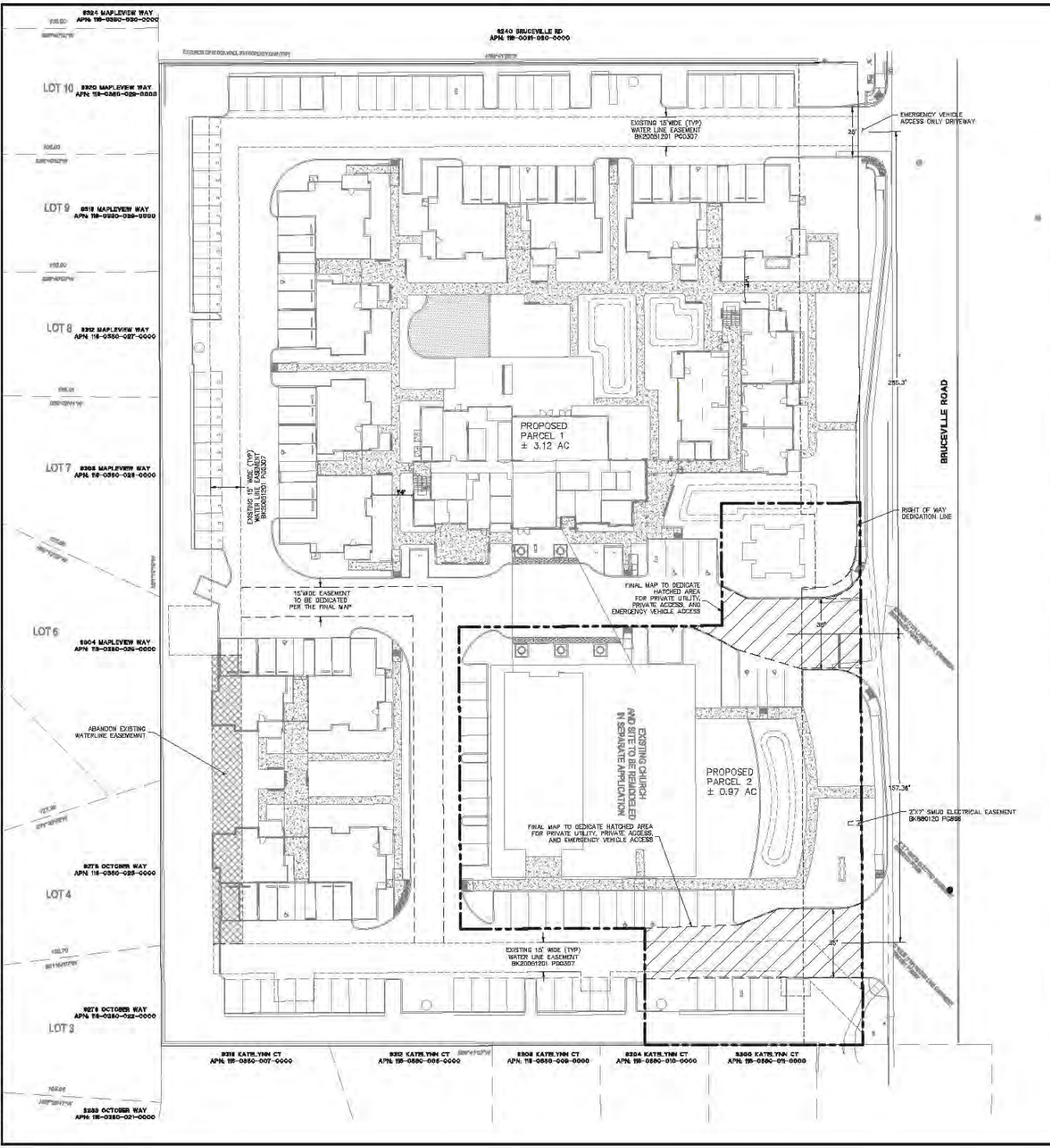
Date	By	Description
05/10/2022	J. Shattuck	Final
		Check
		Design
		Plan
		Field
		Survey
		Other

Drawing Number: _____

Scale: 1"=20'

TM-1

Drawn by: J. Shattuck
Checked by: J. Shattuck
Designed by: J. Shattuck
Planned by: J. Shattuck
Field by: J. Shattuck
Surveyed by: J. Shattuck
Other: J. Shattuck



- LEGEND:
- FOUND MOVEMENT
- ABANDON EXISTING WATER LINE EASEMENT
- DRIVE MANHOLE
- SEWER MANHOLE
- SEWER CLEAN OUT
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- WATER VALVE
- WATER BOX OR METER
- WATER METER
- WATER METER BOX
- TELEPHONE MANHOLE
- TELEPHONE BOX
- GAS METER
- GAS VALVE
- GAS METER
- SIGN
- AMERICAN PARKING DESIGN

TENTATIVE MAP NOTES:

SUBDIVISION NAME: BRUCEVILLE CORNERSTONE VILLAGE
ASSESSOR'S PARCEL NUMBER (APN): 118-0061-01
PROPERTY ADDRESS: 8240 BRUCEVILLE ROAD, ELK GROVE, CA 95760
PROPERTY OWNER: LIGHT OF THE VALLEY
APPLICANT/DEVELOPER: CORNERSTONE VILLAGE ELK GROVE, LP
PREPARED BY: BKI ENGINEERS
SITE SURVEYOR: MORROW SURVEYING
FLOOD ZONE: X, PROTECTED FROM THE 1% ANNUAL CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM.
EXISTING PROPOSED ZONING: RD-15 - MEDIUM DENSITY RESIDENTIAL/NO CHANGE
EXISTING PARCEL AREA(S): EXISTING PARCEL AREA = 178,162 S.F. / 4.08 AC.
TOTAL PARCEL AREA = 178,162 S.F. / 4.08 AC.
EXISTING WELLS/DUMPS: NONE.

GENERAL NOTE

THE FINAL MAP WILL DEDICATE A BLANKET RECIPROCAL EASEMENT FOR CROSS DRAINAGE OVER BOTH PROPOSED PARCELS.

DESCRIPTION

REAL PROPERTY IN THE CITY OF ELK GROVE, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: ALL THAT PORTION OF THE NORTHWEST ONE-QUARTER OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 5 EAST, M.D.B.M., DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE EAST LINE OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN A DEED OF TRUST...

EXISTING EASEMENTS

- 1) 30' WIDE (TYP) LANDSCAPE EASEMENT (BK20061025 F00842)
2) 2X7' SHED ELECTRICAL EASEMENT (BK800130 F0888)
3) 15' WIDE (TYP) WATER LINE EASEMENT (BK20061030 F00307)

DATUM NOTE

ELEVATION BENCHMARK IS METAL SURVEY DISK SET IN CONCRETE PAD AT THE NORTHEAST CORNER OF ELK GROVE BLVD AND BRUCEVILLE ROAD, STAMPED 'YELLER 1987'. ELEVATION: 32.20 FEET. DATUM: NAVD83.

EASEMENT NOTE

I HEREBY STATE THAT ALL EASEMENTS AS INDICATED BY FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY TITLE REPORT NO. 3414-6252468, DATED AS OF DECEMBER 16, 2021 HAVE BEEN SHOWN HEREON AND/OR HAVE BEEN ACCORDING FOR IN NOTE HEREON. ALL EASEMENTS PROPOSED TO BE ABANDONED OR OBTAINED AND/OR ALL EASEMENTS THAT CANNOT BE LOCATED ARE NOTED HEREON.

NAME: JONATHAN SHATTUCK, PE, PLS. DATE: 6-10-2022

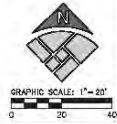
ENGINEER STATEMENT

THIS TENTATIVE SUBDIVISION MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEER PRACTICE. DATE: 6-10-2022. ASSOCIATE: BKI ENGINEERS.



LEGEND: ABANDON EXISTING WATER LINE EASEMENT

DRIVETOP FROM CITY STANDARDS. CITY STANDARDS REQUIRE 300' BETWEEN CURB CURBS OR DRIVWAYS CENTRAL AND OUTER CURBS AND LESS THAN 200' AWAY. NOTE THAT THE NORTHWEST CORNER CUT IS FOR EMERGENCY VEHICLE ACCESS ONLY AND HAS A GATE WITH A HAZARD BOX THAT HAS BEEN COORDINATED WITH TRAFFIC.



TENTATIVE PARCEL MAP FOR BRUCEVILLE CORNERSTONE VILLAGE PROPOSED IMPROVEMENTS

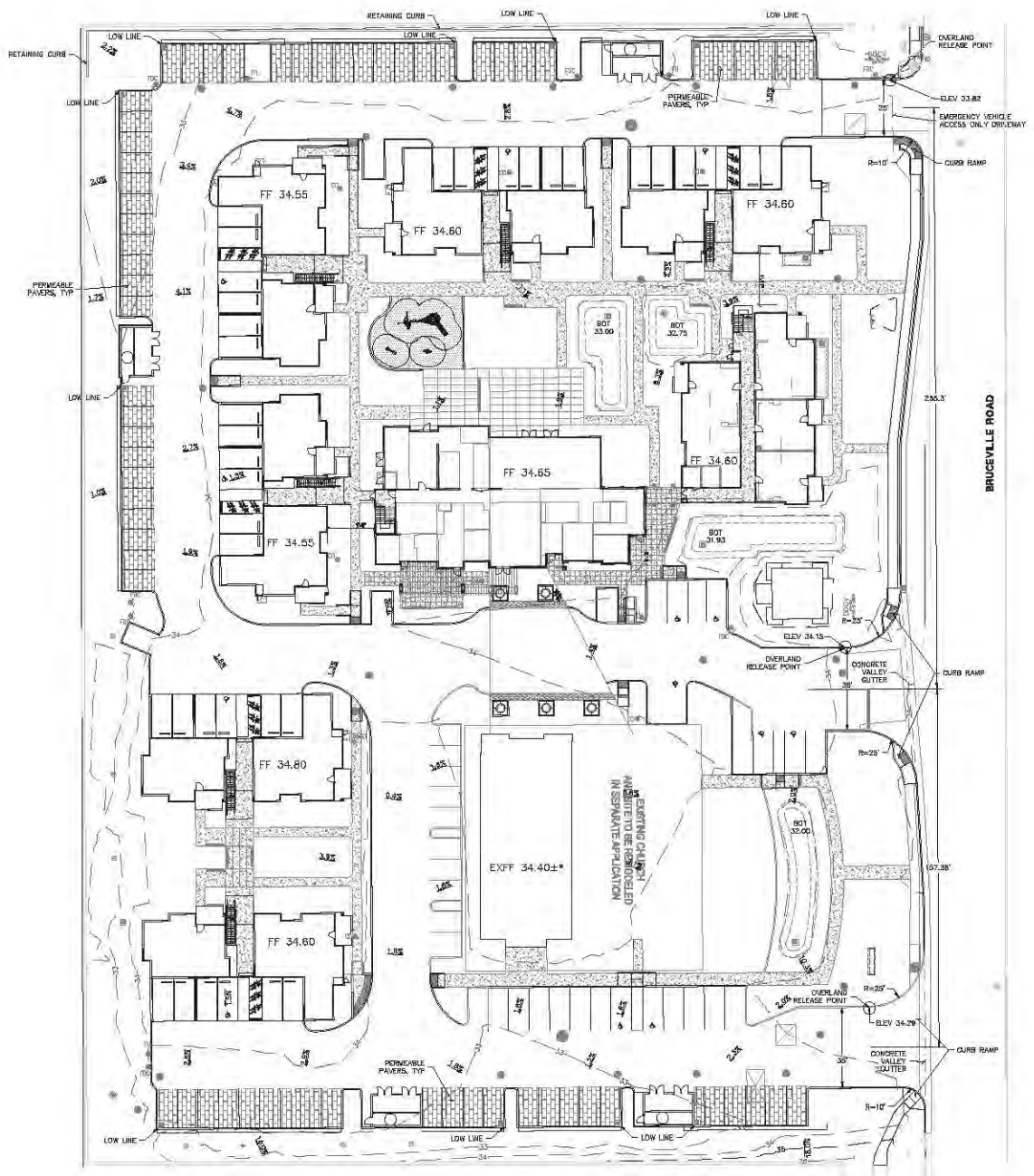
ELK GROVE



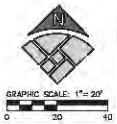
DA

BRUCEVILLE CORNORSTONE VILLAGE GRADING PLAN

ELIK. GROVE



REVISION: HIGH CURBS AND RAMP CURB STANDARDS REQUIRE 200' BETWEEN CURB CUTS/DRAWNINGS. THE CENTRAL AND OUTSIDE CURBS ARE LESS THAN 200' APART. NOTE THAT THE NORTH BRIDGE CUT IS FOR EMERGENCY VEHICLE ACCESS ONLY AND HAS A GATEWAY "X" BOX TO BE HAS BEEN COORDINATED WITH TRAFFIC.



PRELIMINARY - FOR ENTITLEMENT PURPOSES ONLY.

DRAWING NAME: \\bke\proj\2023\041847_2023_041847_0000_0000.dwg
 USER: elik.grove
 DATE: 04/01/2023 10:00 AM
 PLOT DATE: 04/01/2023 10:00 AM

Rev.	Date	Description
1	04/01/2023	Initial
2	04/01/2023	Scale: AS SHOWN
3	04/01/2023	Design: 30/04
4	04/01/2023	Drawn: 30/04
5	04/01/2023	Checked: 30/04
6	04/01/2023	Reviewed: 30/04

Drawing Number: **C3.0**

DATE: 04/01/2023 10:00 AM

PROJECT: BRUCEVILLE CORNORSTONE VILLAGE

SCALE: 1" = 20'

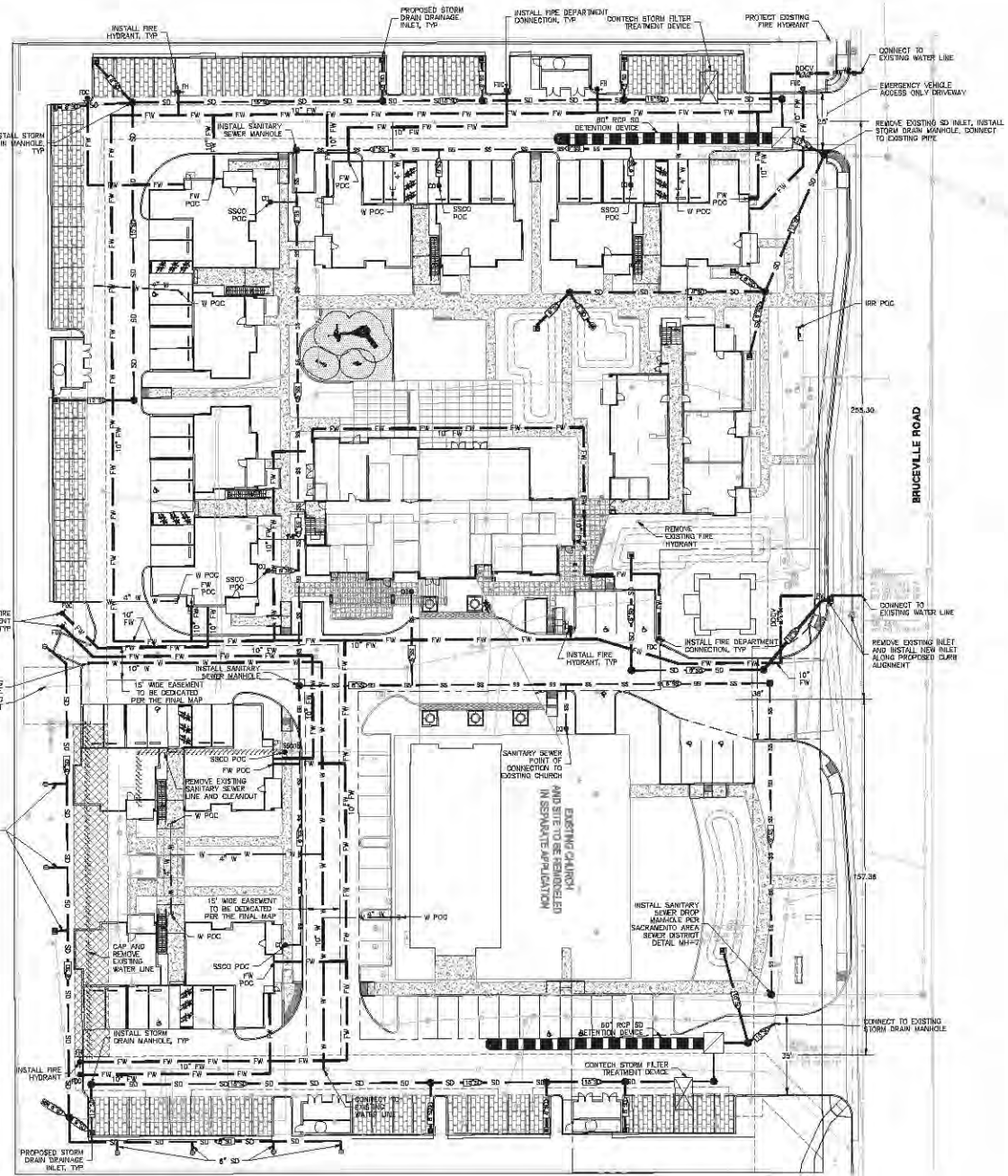
STATUS: PRELIMINARY - NOT FOR CONSTRUCTION



DA

BRUCEVILLE CORNORSTONE VILLAGE UTILITY PLAN

ELIK GRODVE



UTILITY NOTES

1. PROPOSED SITE PLAN HAS BEEN SCREENED FOR CLARITY.
2. R/W ELEVATIONS FOR EXISTING UTILITY STRUCTURES SHALL BE BASED TO PROPOSED SURFACE ELEVATIONS. EXISTING STRUCTURES LOCATED WITHIN PROPOSED VEHICULAR ROADWAY AN H-SO TRAFFIC-CONTROL TOP SHALL BE USED TO REPLACE THE EXISTING TOP OF THE ADJUSTED STRUCTURE. ALL STRUCTURES WITHIN THE FEEDER MAIN PAVEMENT SHALL MEET HIGH REQUIREMENTS. STRUCTURES WITH GRATES SHALL HAVE OPENINGS 1/2" MAXIMUM WIDE AND ELONGATED IN THE DIRECTION PERPENDICULAR TO THE DIRECTION OF DOMINANT PEDESTRIAN TRAVEL.
3. PROTECT ALL EXISTING UTILITIES AND SITE FEATURES FROM BEING DAMAGED, UNLESS OTHERWISE NOTED. ALL UTILITIES AND IMPROVEMENTS THAT INCURR DAMAGE DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED AT NO ADDITIONAL COST TO THE OWNER AND TO THE SATISFACTION OF THE ENGINEER.
4. THE EXISTING UTILITY LINES AND STRUCTURES SHOWN ON THESE PLANS ARE DERIVED FROM RECORD DATA, UNDERGROUND UTILITY SURVEY AND/TW SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES AND STRUCTURES NOT SHOWN ON THIS PLAN, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.
5. THURST BLOCKS SHALL BE INSTALLED AT ALL BENDS AND TEES ON WATER MAINS & FIRE SERVICE LINES. CONTRACTOR MAY USE RESTRAIN JOINTS INSTEAD OF THURST BLOCKS AT ALL BENDS AND TEES. CONTRACTOR SHALL BE RESPONSIBLE TO CALCULATE THE RESTRAIN JOINT LENGTH.
6. EXISTING UNDERGROUND UTILITIES, INCLUDING THOSE MARKED UNKNOWN, ARE BASED ON SURVEY COMPLETED BY OTHERS AND PROVIDED TO BKF ENGINEERS FOR INCLUSION IN PLANS.
7. EXISTING PIPES MAY HAVE CATHODIC PROTECTION. CONTRACTOR SHALL ENSURE THAT ALL CONNECTIONS TO EXISTING PIPE LINES ARE ELECTRICALLY CONTINUOUS WITH THE PIPE LINE.
8. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
9. LENGTH OF PIPES ARE HORIZONTAL DISTANCES FROM CENTER TO CENTER OF STRUCTURES, ROUNDED TO THE NEAREST FOOT AND ARE SHOWN FOR ENGINEERING CALCULATIONS ONLY. CONTRACTOR SHALL ESTIMATE THEIR OWN PIPE LENGTHS PRIOR TO BIDDING.
10. FIRE SERVICE SIZE IS SHOWN FOR REFERENCE ONLY. FIRE SERVICE SIZE SHALL BE CONFIRMED BY A LICENSED FIRE PROTECTOR ENGINEER OR DESIGN-BUILD CONTRACTOR IN CONJUNCTION WITH THE FIRE SPRINKLER SYSTEM DESIGN AND CALCULATIONS. CONTRACTOR IS CAUTIONED NOT TO CREATE ANY MATERIALS RELATED TO THE FIRE SERVICE UNTIL SAID SIZING IS CONFIRMED IF REQUIRED BY THE AUTHORITY HAVING JURISDICTION. FINAL SHOP DRAWINGS OF THE FIRE SERVICE SHALL BE SUBMITTED TO THE A/E BY THE INSTALLING CONTRACTOR. SHOP DRAWINGS OF THE FIRE SERVICE ARE NOT REQUIRED TO BE SUBMITTED TO THE CIVIL ENGINEER OF RECORD.

ELEVATION HIGH CENTERLINE B.C.P. STANDARDS REQUIRE 300' BETWEEN CURBS OR DRIVEWAYS. THE CENTRAL AND OUTSIDE CURBS ARE LESS THAN 200' APART. NOTE THAT THE NORTH CURBS ARE CUT & RISE EMERGENCY VEHICLE ACCESS ONLY AND HAS A GATEWAY KNOCK BOX. THE HAS BEEN COORDINATED WITH TRAFFIC.



GRAPHIC SCALE: 1" = 20'

PRELIMINARY FOR ENTITLEMENT PURPOSES ONLY

BRUCEVILLE CORNORSTONE VILLAGE UTILITY PLAN - 03/20/2024 - 08:58:52 - PLOTTED BY: [unclear]

Number:	
Date:	03/20/2024
Scale:	AS SHOWN
Design:	03/20/24
Drawn:	03/20/24
Checked:	03/20/24
Approved:	03/20/24
Drawing Number:	



CA

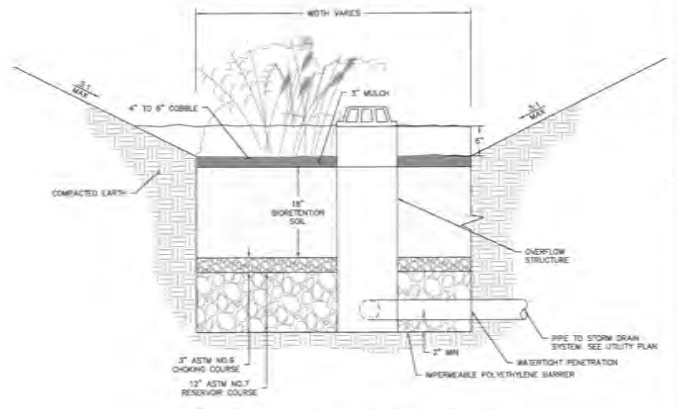
**BRUCEVILLE CORNORSTONE VILLAGE
STORM WATER QUALITY PLAN**

ELK GROVE

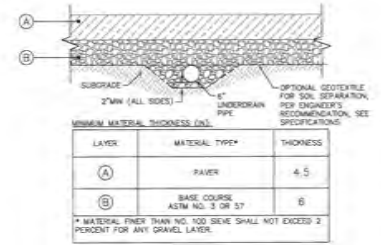
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Scale: 1/8" = 1'-0"	Drawn: 10/21/24	Checked:	
Scale: 1/16" = 1'-0"	Drawn: 10/21/24	Checked:	
Scale: 1/32" = 1'-0"	Drawn: 10/21/24	Checked:	
Scale: 1/64" = 1'-0"	Drawn: 10/21/24	Checked:	
Scale: 1/128" = 1'-0"	Drawn: 10/21/24	Checked:	

C5.0
5 5

XX SUBMITTAL - NOT FOR CONSTRUCTION



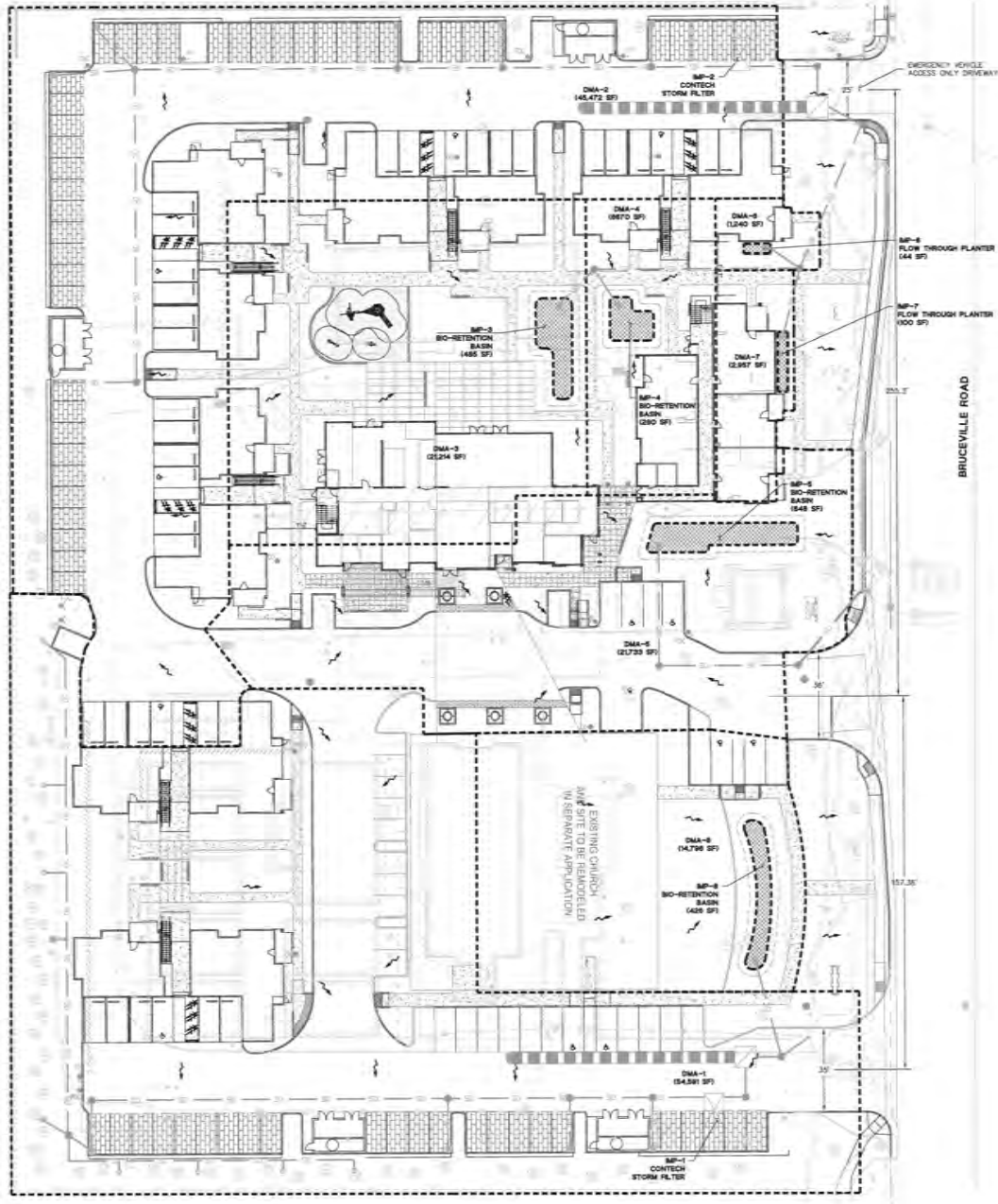
1 TYPICAL BIOTREATMENT AREA CROSS SECTION
NOT TO SCALE



2 TYPICAL PERMEABLE PAVER CROSS SECTION
NOT TO SCALE

DMA#	TOTAL AREA (SF)	GRAVEL MANAGEMENT AREA NUMBER		IMPERVIOUS SURFACE TYPE	PERVIOUS SURFACE AREA (SF)	PERVIOUS SURFACE AREA (SF)	DMA# TO	
		IMPERVIOUS SURFACE AREA (SF)	PERVIOUS SURFACE AREA (SF)					
DMA-1	54,276	Paving	34,980	0.00	Landscaping	19,296	0.424	IMP-3
DMA-2	46,827	Paving	35,228	0.00	Landscaping	22,224	0.230	IMP-2
DMA-3	23,214	Paving	14,258	0.00	Landscaping	9,956	0.168	IMP-3
DMA-4	6,702	Paving	4,248	0.24	Landscaping	2,517	0.026	IMP-4
DMA-5	25,733	Paving	14,627	0.00	Landscaping	7,020	0.162	IMP-5
DMA-6	1,248	Paving	380	0.00	Landscaping	860	0.015	IMP-6
DMA-7	1,267	Paving	2,263	0.00	Landscaping	904	0.214	IMP-7
DMA-8	34,796	Paving	33,080	0.23	Landscaping	4,713	0.238	IMP-8

DEVIATION FROM CITY STANDARD: CITY STANDARDS REQUIRE 300' BETWEEN CURB CUT CORNERS. THE CENTRAL AND SIDE DRIVE CURVES ARE LESS THAN 300'. BEWARE: NOTE THAT THE INTERSECTION CURVE LOT 18 FOR EMERGENCY VEHICLE ACCESS ONLY AREA HAS A DATE 10/15/2024 SINCE THIS HAS BEEN COORDINATED WITH TRAFFIC.



DRAWING NUMBER: 24-00001-01 (REVISED) PROJECT: 24-00001-01 (REVISED) SHEET: 5 OF 5

Exhibit C
Cornerstone Village (PLNG22-003)
Conditions of Approval

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
ON-GOING				
1.	Development and operation of the proposed Project shall be consistent with the Project Description and Project Plans as provided in Exhibits A and B, incorporated herein by this reference. Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.	On-Going	Planning	
2.	This action does not relieve the Applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures.	On-Going	Planning	
3.	The Applicant, or Successors in Interest (hereinafter referred to as the Applicant) shall indemnify, protect, defend, and hold harmless the City, its officers, officials, agents, employees, and volunteers from and against any and all claims, damages, demands, liability, costs, losses or expenses including without limitation court costs, reasonable attorney's fees and expert witness fees arising out of this Project including challenging the validity of this Application/permit or any environmental or other documentation related to approval of this application.	On-Going	Planning	
4.	Except as otherwise specified or provided for in the Project plans or in these conditions, the Project shall conform to the development standards and design requirements adopted by the City of Elk Grove, specifically including but not limited to the following: <ul style="list-style-type: none"> • The Elk Grove Zoning Code (Title 23 of the EGMC) • EGMC Chapter 14.10 (Water Efficient Landscape Requirements) • EGMC Title 16 (Building and Construction) • EGMC Chapter 19.12 (Tree Preservation and Protection) • EGMC Title 22 (Land Development) 	On-Going	Planning	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
5.	<p>The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of the City. Specific locations on median(s) that require emergency vehicle access will be evaluated during review and acceptance of the Improvement Plans.</p> <p>Public sewer, water, and other utility infrastructure shall be designed and constructed with the standards of the appropriate utility.</p>	On-Going	Engineering SCWA SASD SMUD PG&E	
6.	<p>The Applicant shall pay all plan check fees, impact fees, or other costs as required by the City, the Cosumnes Community Services District (CCSD), Sacramento Area Sewer District (SASD), Sacramento County Water Agency (SCWA), or other agencies or services providers as established by law.</p>	On-Going	Planning Engineering CCSD SCWA SASD	
7.	<p>Approval of this project does not relieve the Applicant from the requirements of subsequent permits and approvals, including but not limited to the following as may be applicable:</p> <ul style="list-style-type: none"> • Grading Permit and Improvement Plan • Building Permit and Certificate of Occupancy • Requirements of the Sacramento Metropolitan Air Quality Management District • Fire Department review for permits and/or occupancy 	On-Going	Planning Engineering Building CCSD SCWA SASD	
8.	<p>The trash enclosures shall be locked when not in use and well maintained at all times.</p>	On-Going	Code Enforcemen † Planning	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
9.	As to any fee, dedication, reservation or exaction established by these conditions of approval that are subject to the Mitigation Fee Act, notice is hereby given pursuant to California Government Code Section 66020(d) that the 90-day period in which you may protest the fees set forth herein has begun to run as of the date of approval of this Project. Other limitations periods may apply. The City reserves all rights.	On-Going	Planning	
10.	<p>If cultural resources or tribal cultural resources are discovered during grading or construction activities on the Project Site, work shall halt immediately within 50 feet of the discovery, the Planning Department shall be notified, and a professional archaeologist meeting the Secretary of the Interior's Professional Qualifications Standards in archaeology shall be retained to determine the significance of the discovery.</p> <p>If resources are determined to be potentially significant, the City shall require the preparation of a treatment plan and report of findings for cultural and tribal cultural resources. The City and the applicant shall consult and agree to implement all measures the City deems feasible. Such measures may include avoidance, preservation in place, excavation, documentation, curation, data recovery, or other appropriate measures. The Applicant shall be required to implement measures necessary for the protection and documentation of cultural resources.</p> <p>A note stating the above shall be placed on the Improvement Plans.</p>	<p>On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first.</p> <p>Monitoring shall be On-Going</p>	Planning	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
11.	<p>All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California's Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in State CEQA Guidelines Section 15064.5 (d) and (e) shall be followed.</p> <p>A note stating the above shall be placed on the Improvement Plans.</p>	<p>On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first.</p> <p>Monitoring shall be On-Going</p>	Planning	
12.	The existing building is currently connected to public sewer. Any required construction and/or modification to the public sewer system must be to the satisfaction of SASD prior to the approval of improvement plans. SASD Design Standards and Specifications apply to any onsite and offsite public sewer construction.	On-Going	SASD	
13.	If the proposed garbage enclosure will contain a drain to the sewer, it must be covered.	On-Going	SASD	
14.	Water supply shall be provided by the Sacramento County Water Agency (SCWA).	On-Going	SCWA	
15.	SMUD reserves the right to use any portion of its easements on the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.	On-Going	SMUD	
PRIOR TO OR IN CONJUNCTION WITH IMPROVEMENT AND/OR GRADING PLAN SUBMITTAL OR APPROVAL				
16.	The Applicant shall prepare and submit a drainage study to the satisfaction of the City and in accordance with City of Elk Grove Storm Drainage Master Plan, Improvement Standards, General Plan, and any other applicable drainage master plans or studies.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
17.	The Applicant shall prepare and submit a Post-Construction Stormwater Quality Control Plan in accordance with the City of Elk Grove Improvement Standards and most recent version of the Stormwater Quality Design Manual for the Sacramento Region. The Applicant shall also submit a separate maintenance manual describing proper maintenance practices for the specific treatment controls to be constructed.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
18.	Low Impact Development (LID) features adopted in the stormwater quality manual must be implemented for all projects. All the designs shall be consistent with the design examples prescribed in the latest edition of the manual.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
19.	The Applicant shall execute a maintenance agreement with the City for stormwater quality control treatment devices to the satisfaction of the City.	Improvement Plans	Engineering	
20.	SASD requires each building on each lot with a sewage source to have a separate connection to the SASD's sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel shall have a separate connection to a private onsite sewer line or a separate connection to the SASD public sewer line.	Improvement Plans	SASD	
21.	To obtain sewer service, construction of SASD sewer infrastructure will be required. Current SASD Standards and Specifications apply to any offsite or onsite public sewer construction or modification. These improvements must be shown on the plans. Field modifications to new or existing precast manhole bases are not allowed.	Improvement Plans	SASD	
22.	SASD Design Standards and Specifications require minimum 6-inch lower laterals for commercial and industrial buildings	Improvement Plans	SASD	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
23.	All water lines shall be located within a public right-of-way or within easements dedicated to SCWA. Easements shall be reviewed and approved by Sacramento County Water Agency.	Improvement Plans	SCWA	
24.	SMUD has existing overhead 12kV & 69kV facilities at the north-east parcel boundary that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.	Improvement Plans	SMUD	
25.	Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.	Improvement Plans	SMUD	
26.	In the event the Applicant requires the relocation or removal of existing SMUD facilities on the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.	Improvement Plans	SMUD	
27.	SMUD has existing underground 12kV facilities along Bruceville Road and on the project parcel that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.	Improvement Plans	SMUD	
28.	Onsite fire department access routes shall provide a turning radius of 25-feet inside and 50 feet-outside (25 feet wide at and through the turn). Cosumnes Community Services District (CCSD) Fire Department does not consent to the use of auto turn software.	Improvement Plans	CCSD Fire	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
29.	<p>The Applicant shall provide Fire Access Roadway Maintenance Agreement (RMA) between Cosumnes Community Services District and all parcels connected to and served by the fire access roadway. Fire Access Roadway Maintenance Agreement shall be on the form provided by the CCSD and recorded with the Sacramento County Recorder. The roadway maintenance agreement shall include the following:</p> <ul style="list-style-type: none"> • Provisions for the necessary repair and maintenance of the roadway surface • Removal of vegetation overgrowing the roadway and infringing on the roadway clear vertical height of thirteen feet six inches (13'6") or width of twenty feet (20') • Provisions for the maintenance, repair, and/or replacement of NO PARKING-FIRE LANE signage or striping • Provisions for the necessary repair and maintenance of vehicle and pedestrian access gates and opening systems 	Improvement Plans	CCSD Fire	
30.	All new sidewalks, pedestrian paths, and plazas shall have an albedo of at least 0.25-0.5.	Improvement Plans	SMAQMD	
31.	Proposed pavers in front of Building B shall be designed to a minimum of 80,000-pound gross vehicle weight. Additional support/design may be needed to support aerial apparatus operations during an event and in all weather conditions. The use of solid pavers (not grass-crete or similar) tightly placed with no gaps is accepted provided the design is suitable for ladder truck operations and outrigger pressures. Any damage that occurs because of fire operations shall be the responsibility of the property owner. Pavers and drainage shall, at all times, be maintained to support fire apparatus.	Improvement Plans	CCSD Fire	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
32.	Civil Improvement Plans approved by SCWA shall be required for relocation of the water main. A new water pipeline easement for the relocated portion of the water main shall be dedicated to SCWA.	Improvement Plans	SCWA	
33.	The water supply sequencing steps shall be: (1) install and cure temporary thrust restraints at locations where water main will be cut, (2) obtain approval from the Fire Department to shut down the fire loop, (3) request SCWA Operations to shut the isolation valves, (4) cut and remove the existing water main and install the relocated water main except for tie-in's, (5) after disinfection, make the tie-in's, then (6) after new water system is ready for SCWA acceptance allow two months for SCWA to abandon the portion of the existing water pipeline easement under the building addition.	Improvement Plans	SCWA	

<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
PRIOR TO OR IN CONJUNCTION WITH FINAL MAP			
<p>34. Prior to the recordation of the final map or issuance of building permit, whichever occurs first, the Applicant shall (1) approve (a) the formation of a new or annexation into an existing community facilities district ("CFD") and (b) an annual CFD special tax; or (2) deposit a sum money, as determined by the Cosumnes Community Services District, sufficient for the Cosumnes Community Services District to fund a portion of the cost of the District's ongoing fire and emergency services, maintenance, operation, and repair and replacement of fire station facilities and fire and emergency equipment and routine and deferred maintenance and replacement of park facilities, trails and landscape corridors attributable to the property and (b) replacement of district wide facilities attributable to the property. Any costs for the approval and creation of such annual special tax, annexation of the Property into an existing Mello-Roos Community Facilities District for the Cosumnes Community Services District, or administration of the sum of money deposited to fund the fire and emergency services and maintenance of park facilities, trails and landscape corridors , shall be paid from the annual special taxes of the Community Facilities District or the sum of money deposited with the Cosumnes Community Services District. If the property owner(s) fails to approve an annual special tax or deposit a sum of money as provided for herein for such purposes for the Cosumnes Community Services District, no building permits for the property shall be issued or approval of the Improvement Plan shall be provided. It is the responsibility of the Applicant or their representative to contact the Cosumnes Community Services District at (916) 405-5600 to initiate the Community Facilities District process.</p>	<p>Prior to Final Map or Building Permit, whichever occurs first</p>	<p>CCSD Parks and Fire</p>	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
35.	The Applicant shall grant to SMUD a Grant of Easement to cover the existing electrical facilities on the premises. Prior to the Map Recordation of the final map, the Applicant shall prepare and submit the subject map for SMUD's review and acceptance. The subject map shall be prepared in accordance with SMUD's standard overhead/underground right-of-way form, which shall require a 5-foot wide right-of-way for existing overhead/underground electrical facilities in addition to the area around the transformer (10 x 10). If necessary, SMUD will mark the ground with the location of underground facilities. Please call 811 to have these facilities marked.	Final Map	SMUD	
36.	The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be 20-feet wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-feet from the drivable surface.	Final Map or Building Permit, whichever occurs first	SMUD	
37.	The Applicant shall dedicate any private drive, ingress and egress easement, (and 10-feet adjacent thereto) as a public utility easement for (overhead and) underground facilities and appurtenances. All access roads shall meet minimum SMUD requirements for access roads.	Final Map	SMUD	
38.	Gates across public access driveways shall not be installed.	Final Map/On-Going	CCSD Fire	
39.	The installation of on-site traffic calming devices such as but not limited to speed bumps, humps or other designs are prohibited unless approved by the fire code official.	Improvement Plans/On-Going	CCSD Fire	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
40.	As proposed, this project requires an alternate means and methods request (AMMR) to be on file with the fire department. A condition of approval is required for the project to meet the alternate means and methods agreement as approved by the fire department. Any deviation from the approved alternate means and methods request may affect the project as proposed.	Final Map	CCSD Fire	
41.	The Applicant shall dedicate, design, and construct a right-turn pocket into the driveway on Bruceville Road as shown on the site plan in accordance with the City Improvement Standards and to the satisfaction of the City. Right-of-way dedication shall be to the back of sidewalk.	Final Map or 1st Building Permit, whichever occurs first	Engineering	
42.	The existing drainage inlet on Bruceville Road, adjacent to the Project's frontage shall be relocated as shown on the site plans and to the satisfaction of the City.	Final Map or 1st Building Permit, whichever occurs first	Engineering	
43.	The Applicant shall dedicate a new 15-foot wide Water Line Easement as shown on the Tentative Parcel Map.	Final Map or 1st Building Permit, whichever occurs first	Engineering	
44.	The Applicant shall abandon a portion of the existing 15-foot wide Water Line Easement (20051201 O.R. 0307) as shown on the Site Plan and the water pipe shall be removed to the satisfaction of the City.	Final Map or 1st Building Permit, whichever occurs first	Engineering	
45.	The Applicant shall enter into a Covenant and Agreement with the City for reciprocal access and parking between Parcels 1 and 2, including but not limited to common area ownership and maintenance to the satisfaction of the City.	Final Map or 1st Building Permit, whichever occurs first	Engineering	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
46.	The Applicant shall submit civil and landscape improvement plans to Cosumnes CSD for review and approval.	Final Map or Building Permit, whichever occurs first	CCSD Parks	
47.	The Applicant shall pay Quimby In Lieu Fees in accordance with Title 22.40 Park and Recreation Fees and Title 16.80 Park Land in Lieu Fee of City Municipal Code.	Final Map or Building Permit, whichever occurs first	CCSD Parks	
48.	The Applicant shall provide Fire Access Agreement between Cosumnes Community Services District (CCSD) and all parcels connected to and served by fire access. Fire Access Agreement shall be on the form provided by the CCSD and recorded with the Sacramento County Recorder.	Final Map or 1st Building Permit, whichever occurs first	CCSD Fire	
49.	The City Council-approved Regulatory Agreement for Parcel 1 (as shown on the Tentative Parcel Map) ensuring affordability of specified units for the Project shall be recorded against Parcel 1 concurrently with the recordation of the Final Map. No building permit(s) shall be issued for the Project prior to recordation of the Regulatory Agreement.	Recordation at Final Map and prior to Building Permit	Engineering Planning	
PRIOR TO OR IN CONJUNCTION WITH BUILDING PERMIT OR CERTIFICATE OF OCCUPANCY				
50.	The Applicant shall reconstruct all damaged public improvements along the Project's frontages, whether or not caused by construction-related activities in accordance with the City's Standards and to the satisfaction of the City. If pavement replacement is necessary, as determined by the City, the Applicant may be required to grind, overlay, and/or slurry seal the damaged portion(s) in accordance with the City Improvement Standards and to the satisfaction of the City.	Building Permit	Engineering	
51.	The Applicant shall reconstruct any existing ADA compliance improvements adjacent to the Project to meet current standards.	Building Permit	Engineering	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
52.	All new structures or additions utilize certified cool roofs. The California Energy Commission's Title 24, Part 6, suggests an aged solar reflectance of at least 0.63 for low-sloped roofs and at least 0.20 for steep-sloped roofs, with a minimum thermal emittance of 0.75. The Cool Roof Rating Council provides a product directory of roofs.	Building Permit	SMAQMD	
53.	Prior to issuance of Building Permit, the project area shall annex into the Maintenance Services Mello-Roos Community Facilities District 2006-1 (CFD) , to fund the project's fair share of landscape related maintenance costs associated with public parkways, public parks, open space, landscape setbacks, bike and other paths, landscaped medians in and adjacent to roadways, maintenance and operation of a community center, sports (including aquatic) facilities, cultural arts center, and water features, and maintenance of other related facilities. <u>The annexation process can take several months, so the Applicant should plan accordingly.</u> The application fee and completed application for the annexation is due prior to the Resolution of Intention to Annex the Property and Levy the Special Tax.	Building Permit	Finance	
54.	Prior to issuance of Building Permit, the project area shall annex into the Police Services Mello-Roos Community Facilities District 2003-2 (CFD) , to fund the project's fair share of Public Safety costs. <u>The annexation process can take several months, so the Applicant should plan accordingly.</u> The application fee and completed application for the annexation is due prior to the Resolution of Intention to Annex the Property and Levy the Special Tax.	Building Permit	Finance	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
55.	Prior to issuance of Building Permit, the project area shall annex into the Street Maintenance Assessment District No. 1, Zone 2, to fund a portion of the additional costs for long-term roadway maintenance related to serving the new development. The annexation process can take several months, so the Applicant should plan accordingly. The application fee and completed application for the annexation is due prior to the Resolution of Intention to Levy Street Maintenance assessments.	Building Permit	Finance	
56.	Prior to issuance of Building Permit, the project area shall annex into the Storm Water Drainage Fee Zone 2 to fund a portion of the additional costs for storm water drainage and run-off maintenance related to serving the new development. <u>The annexation process can take several months, so the Applicant should plan accordingly.</u> The completed application for the annexation is due prior to the Resolution of Intention to Levy Storm Water Drainage Fee Zone 2 assessments.	Building Permit	Finance	
57.	Building and apartment addressing shall meet the minimum requirements of the Cosumnes Fire Department addressing standard and or to the satisfaction of the Cosumnes Fire Department and the City of Elk Grove, collectively.	Certificate of Occupancy	CCSD Fire	
58.	Approved radio coverage for emergency responders shall be provided. A test conducted by a licensed contractor shall be performed at building or project completion to determine if the public safety communication system is adequate for emergency responder radio coverage. Buildings that cannot support the required level of radio coverage shall be equipped with distributed antenna system with FCC certified signal boosters. Plans and permits required.	Certificate of Occupancy	CCSD Fire	
59.	Water mains and fire hydrants designated for a project shall be installed, tested, flushed, inspected, and able to provide the required fire flow prior to combustible construction.	Prior to start of combustible construction	CCSD Fire	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
60.	Required onsite fire access lanes shall be installed prior to combustible construction or on-site storage of combustible materials. Onsite pavement shall be capable of supporting 80,000 pounds gross vehicle weight in all weather conditions.	Prior to start of combustible construction	CCSD Fire	
61.	The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if sewer impact fees are due. Fees are to be paid prior to the issuance of building permits.	Building Permit	SASD	
62.	The Applicant shall provide public water service to each building.	Building Permit	SCWA	
63.	The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).	Building Permit	SMUD	
64.	The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: https://www.smud.org/en/business/customer-service/support-and-services/design-construction-services.htm	Building Permit	SMUD	
65.	The Applicant shall locate, verify, and provide a drawing to SMUD identifying all electrical utility infrastructure for the existing structures. If necessary, any existing onsite electrical infrastructure that serves existing structures shall be relocated to the satisfaction of SMUD.	Building Permit	SMUD	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and Signature)</u>
66.	<p>The Applicant shall comply with the City's Climate Action Plan (CAP) as follows:</p> <ul style="list-style-type: none"> • Comply with CALGreen Residential energy efficiency standards (BE-4); • At least 10% of the units in the project shall include exclusively electric appliances and HVAC system (BE-6); • 25% of the off-road construction feet used during construction shall include Environmental Protection Agency certified off-road Tier 4 diesel engines (TACM-8); and • Install electric vehicle (EV) charging stations (2.5% of parking spaces provided) and "EV Ready" parking stalls (2.5% of parking spaces) (TACM-9). 	Building Permit	Planning	

CERTIFICATION
ELK GROVE CITY COUNCIL RESOLUTION NO. 2022-164

STATE OF CALIFORNIA)
COUNTY OF SACRAMENTO) ss
CITY OF ELK GROVE)

I, Jason Lindgren, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on June 22, 2022 by the following vote:

AYES: **COUNCILMEMBERS:** *Singh-Allen, Suen, Hume, Spease, Nguyen*

NOES: **COUNCILMEMBERS:** *None*

ABSTAIN: **COUNCILMEMBERS:** *None*

ABSENT: **COUNCILMEMBERS:** *None*



Jason Lindgren, City Clerk
City of Elk Grove, California