

RESOLUTION NO. 2024-024

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE
APPROVING A CONDITIONAL USE PERMIT, MAJOR DESIGN REVIEW
AMENDMENT, AND DETERMINATION OF PUBLIC CONVENIENCE OR NECESSITY
(CEQA EXEMPT)**

**CALVINE POINTE ARCO AM/PM PROJECT (PLNG23-017)
8798 CALVINE ROAD
APN: 115-2010-007**

WHEREAS, the Development Services Department of the City of Elk Grove (the “City”) received an application on April 13, 2023, from BP Projects North America, Inc. (the “Applicant”) requesting a Conditional Use Permit (CUP), Major Design Review Amendment, and Determination of Public Convenience or Necessity for the Calvine Pointe ARCO AM/PM Project (the “Project”); and

WHEREAS, the proposed Project is located on real property in the incorporated portions of the City more particularly described as APN: 115-2010-007; and

WHEREAS, the Development Services Department considered the Project request pursuant to the Elk Grove General Plan, the Elk Grove Municipal Code (EGMC) Title 23 (Zoning), Title 22 (Land Development), the Elk Grove Design Guidelines, and all other applicable state and local regulations; and

WHEREAS, the City Council held a duly-noticed public hearing on February 28, 2024, as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting.

NOW, THEREFORE, BE IT RESOLVED, that the City Council finds the Calvine Pointe ARCO AM/PM Project (PLNG23-017) exempt from CEQA pursuant to State CEQA Guidelines Section 15332 (In-Fill Development Projects) and Section 15162 (Subsequent EIRs and Negative Declarations) based upon the following finding:

CEQA

Finding: The Project is exempt under CEQA pursuant to State CEQA Guidelines Section 15332 and 15162.

Evidence: CEQA requires analysis of agency approvals of discretionary “projects.” A “project,” under CEQA, is defined as “the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment” (State CEQA Guidelines Section 15378). The proposed Project is a project under CEQA.

The Project is exempt from environmental review pursuant to Section 15332 (Infill Development Projects) of the State CEQA Guidelines. Section 15332 applies to development projects which are: consistent with applicable general plan and zoning regulations; within City limits on a project site that is less than five acres and substantially surrounded by urban uses; located on a site with no value as habitat for endangered, rare, or threatened species; would not result in any significant effects relating to traffic, noise, air quality, or water quality; and located on a site that can be adequately served by all required utilities and public services

The Project site is within City boundaries, is surrounded existing development, and is less than five acres in size. The Project is consistent with land use and intensities established in the General Plan and zoning for the SC zoning district. The Project site is disturbed and provides no value as habitat for endangered, rare, or threatened species. The Project is below the Sacramento Metropolitan Air Quality Management District's construction and operational air pollutant screening levels provided in its CEQA Guide. The Project site is subject to City water quality control requirements under EGMC Chapter 16.44, Land Grading and Erosion Control. Public services and utilities exist in the Project area and are available to serve the Project. The Applicant provided a Noise Study that demonstrates compliance with City noise standards with the addition of design measures that are included as conditions of approval on the Project. Additionally, the Project has been conditioned to comply with the General Plan's adopted mitigation measures (MM) related to cultural resources to address the potential for cultural discoveries. No special circumstances exist that would create a reasonable possibility that approving the Project would create a significant adverse effect on the environment.

State CEQA Guidelines Section 15162 (Subsequent EIRs and Negative Declarations) provides that when an Environmental Impact Report (EIR) has been certified or negative declaration adopted for a project, no subsequent EIR/negative declaration shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in light of the whole record, that there are new significant environmental effects due to a change in the project or circumstances, or there is new information of substantial importance as identified in State CEQA Guidelines Section 15162(a)(3).

The subject property was zoned for commercial development in 2005 with the approval of the Calvine Pointe Project (EG-01-156). An EIR was prepared and certified for the Calvine Pointe Project (SCH# 2002052038). The current Project proposes to amend the previous approvals modifying the overall site plan by adding a new automobile fueling station with a convenience store, canopy, and car wash, replacing the previously approved Shops 1/Drive-Thru 1 building.

In February 2019, the City Council adopted a new General Plan and amended the land use designation of the Project site from Commercial to Regional Commercial. The General Plan relies on Vehicle Miles Traveled (VMT) as a measure of transportation impacts. Pursuant to the City's Transportation Analysis Guidelines (November 2023), as the Project is consistent with the applicable General Plan and Zoning designations and qualifies for a categorical exemption, the Project is not likely to lead to a substantial or measurable increase in VMT and is presumed to be less than significant.

No potential new impacts related to the Project have been identified that would necessitate further environmental review beyond the impacts and issues already disclosed and analyzed in the Calvine Pointe EIR. No other special circumstances exist that would create a reasonable possibility that the Project will have a significant adverse effect on the environment and the Project is subject to the adopted Mitigation Monitoring and Reporting Program (MMRP). Therefore, pursuant to State CEQA Guidelines Section 15332 and 15162, no further environmental review is required.

AND, BE IT FURTHER RESOLVED, that the City Council of the City of Elk Grove hereby approves the Conditional Use Permit and Major Design Review Amendment for the Calvine Pointe ARCO AM/PM Project (PLNG23-017), as described in Exhibit A and illustrated in Exhibit B, and subject to the Conditions of Approval in Exhibit C (all incorporated herein by this reference), based upon the following findings:

Conditional Use Permit

Finding #1: The proposed use is consistent with the General Plan and all applicable provisions of this EGMC Title 23.

Evidence #1: The General Plan Regional Commercial (RC) designation is generally characterized by retail and service uses that serve a regional market area. These uses typically consist of a unified shopping center with major anchor stores and encompass a larger total area than Community Commercial (CC) uses. Retail and service uses are intended to be the predominant use. The Project site's Shopping Center (SC) zoning designation is considered an implementing zoning district of the RC land use designation (General Plan Consistency Matrix Table 3-1). The Project consists of a new 3,349 square foot automobile fueling station and convenience store with an attached 1,141 square-foot self-service car wash. The fueling station will accommodate nine dispensers (18 fueling positions total) underneath a 25' x 96' canopy. Pursuant to Elk Grove Municipal Code (EGMC) Table 23.27-1 (Allowed Uses and Required Entitlements), "Fueling Station" and "Car Washing and Detailing" uses are conditionally permitted uses in the SC zone, while a "Convenience Store" is permitted by right. The Project will result in a Floor Area Ratio (FAR) of 0.11 which is below the maximum FAR in the SC zone of 1.0. As the proposed uses are conditionally allowed or allowed by right and the proposed development intensity is below the maximum FAR, the proposed Project will be consistent with the General Plan. Additionally, the Project is consistent with General Plan Policy ED-1-3, which encourages the full and efficient use of vacant and underutilized parcels; Policy LU-2-1, which promotes commercial uses along existing commercial corridors; and Policy LU-2-4, which requires new infill development projects to be compatible with the character of surrounding areas and neighborhoods, support increased transit use, promote pedestrian and bicycle mobility, and increase housing diversity.

Pursuant to EGMC Section 23.72.030, fueling stations shall be separated by a minimum of 500 feet, except that a maximum of two fueling stations are permitted at any single intersection. The proposed fueling station is more than 500 feet away from any existing fueling stations. The nearest fueling station to the proposed Project is the Safeway fueling station located on the northeast corner of Calvine Road and Elk Grove-Florin Road outside of the City limits within unincorporated Sacramento County; this location is over 1,000 ft. from the proposed Project.

Finding #2: The establishment, maintenance or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use, or the general welfare of the City.

Evidence #2: The Project consists of a new 3,349 square foot automobile fueling station and convenience store with an attached 1,141 square foot self-service car wash. The fueling station will accommodate nine dispensers (18 fueling positions total) underneath a 25' x 96' canopy. The convenience store and fueling station will operate 24 hours a day, 7 days a week and sell beer, wine, spirits, and tobacco under a Type 21 alcohol license from the California Department of Alcoholic Beverage Control (ABC). The car wash and associated vacuums will have hours of operation from 7:00 AM to 10:00 PM. In addition, roll gates will be installed at the entrance and exit of the car wash to maximize site safety during non-operational hours. The vehicles queuing for the car wash will not create any traffic congestion for the entrances/exits on Calvine Road.

Pursuant to EGMC Section 23.72.040(L), all outdoor noise generators associated with the business shall be identified by the applicant during the Conditional Use Permit review and may require the submittal of a professional noise analysis to quantify noise sources. The Applicant submitted a Noise Study for the Project (Bollard Acoustical Consultants, Inc, June 2023) to quantify the existing noise and vibration environments and to identify potential noise and vibration impacts resulting from the Project. There are existing six-foot and eight-foot masonry walls constructed along the property lines of the residential uses to the north and west, respectively.

The Noise Study determined that with the addition of hours of operations restrictions for the car wash and vacuums, the Project will not exceed the City's General Plan noise thresholds. Based on the findings of the Noise Study, Staff added Conditions of Approval Nos. 30 and 33 to ensure that these construction and operational measures are included with the Project. As mentioned, all Project car wash operations, including vacuums, will be limited to the hours between 7:00 AM and 10:00 PM. Staff believes the proposed Project will have minimum impacts on the surrounding neighborhood and will provide a variety of uses and services to the neighborhood that will accommodate pedestrian and automobile-oriented users. The uses are consistent with the General Plan designation for the site of Regional Commercial and all applicable provisions of Title 23 of EGMC; therefore, the Project will not be detrimental to the health, safety, peace, morals, comfort or general welfare of person residing or working in the area or the general welfare of the City.

Major Design Review Amendment

Finding #1: The proposed Project is consistent with the objectives of the General Plan, complies with applicable Zoning regulations, Elk Grove Design Guidelines, and Improvement Standards adopted by the City.

Evidence #1: The Project plans have been reviewed in accordance with the General Plan, Zoning Code, and Elk Grove Design Guidelines. The General Plan Regional Commercial (RC) designation is generally characterized by retail and service uses that serve a regional market area. These uses typically consist of a unified shopping center with major anchor stores and encompass a larger total area than Community Commercial (CC) uses. Retail and service uses are intended to be the predominant use. The Project site's Shopping Center (SC) zoning designation is considered an implementing zoning district of the RC land use designation (General Plan Consistency Matrix Table 3-1). The Project consists of a new 3,349 square foot automobile fueling station and convenience store with an attached 1,141 square foot self-service car wash. The fueling station will accommodate nine dispensers (18

fueling positions total) underneath a 25' x 96' canopy. Pursuant to Elk Grove Municipal Code (EGMC) Table 23.27-1 (Allowed Uses and Required Entitlements), "Fueling Station" and "Car Washing and Detailing" uses are conditionally permitted uses in the SC zone, while a "Convenience Store" is permitted by right. The Project will result in a Floor Area Ratio (FAR) of 0.11 which is below the maximum FAR in the SC zone of 1.0. As the proposed uses are conditionally allowed or allowed by right and the proposed development intensity is below the maximum FAR, the proposed Project will be consistent with the General Plan. The proposed Project is consistent with the following General Plan Policies:

Policy ED-1-3: Encourage the full and efficient use of vacant and underutilized parcels in appropriately designated areas to support the development and expansion of targeted commercial uses.

Policy LU-2-1: Promote a greater concentration of high-density residential, office, commercial or mixed-use sites and the population along identified transit corridors and existing commercial corridors, in activity centers, and at other appropriate locations.

Policy LU-2-4: Require new infill development projects to be compatible with the character of surrounding areas and neighborhoods, support increased transit use, promote pedestrian and bicycle mobility, and increase housing diversity.

The Project complies with the development standards of Title 23, Chapter 23.72, Automobile Fueling Stations as detailed in Table 2 of the Project's staff report. Additionally, the proposed design is consistent with the requirements of the Elk Grove Design Guidelines. The building is designed with a modern architectural style which is consistent with the existing buildings and with the previous approvals for the site, including the newly-constructed City Sports Club building. The building elevations utilize a variety of building materials such as stucco, metal, and composite wood. Colors include tan stucco with rustic walnut and silver metallic accents. The convenience store has a variety of roof planes and heights with a defined entrance with human-scale architecture. The Project's colors and materials are complementary to the surrounding neighborhood character, which is consistent with the requirements of the Elk Grove Design Guidelines.

Finding #2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence #2: The site plan, building elevations, and landscape plans have been reviewed in accordance with the Elk Grove Design Guidelines for non-residential development, and it is concluded that the architecture and site planning, as conditioned, meet all applicable design requirements. The building is designed with a modern architectural style which is consistent with the existing buildings and with the previous approvals for the site, including the newly-constructed City Sports Club building. The building elevations utilize a variety of building materials such as stucco, metal, and composite wood. Colors include tan stucco with rustic walnut and silver metallic accents. The convenience store has a variety of roof planes and heights with a defined entrance with human-scale architecture. The Project's colors and materials are complementary to the surrounding neighborhood character, which is consistent with the requirements of the Elk Grove Design Guidelines.

Finding #3: The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signage and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence #3: The proposed Project has been designed consistent with the requirements of the Elk Grove Design Guidelines for non-residential development, and it is concluded that the architecture and site planning meet all applicable design requirements. The building is designed with a modern architectural style which is consistent with the existing buildings and with the previous approvals for the site, including the newly constructed City Sports Club building. The building elevations utilize a variety of building materials such as stucco, metal, and composite wood. Colors include tan stucco with rustic walnut and silver metallic accents. The convenience store has a variety of roof planes and heights with a defined entrance with human-scale architecture. The Project's colors and materials are complementary to the surrounding neighborhood character, which is consistent with the requirements of the Elk Grove Design Guidelines.

Finding #4: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence #4: Consistent with the requirements of Title 23, Chapter 23.72, Automobile Fueling Stations, the Project includes a continuous 4-foot-wide internal pedestrian walkway from perimeter to the Project entrance. The Project will be accessed from two existing driveways from Calvine Road. The vehicles queuing for the car wash will not create any traffic congestion for the entrances/exits on Calvine Road as detailed in the Elk Grove Calvine ARCO Project Access and Circulation Study prepared for the Project (Fehr and Peers, July 2023).

Finding #5: For residential subdivision design review applications, the residential subdivision is well integrated with the City's street network, creates unique neighborhood environments, reflects traditional architectural styles, and establishes a pedestrian friendly environment.

Evidence #5: The Project does not require a residential tentative subdivision map, therefore this finding is not applicable.

AND, BE IT FURTHER RESOLVED, that the City Council of the City of Elk Grove hereby approves a Determination of Public Convenience or Necessity for a Type 21 alcohol license for the sale of beer, wine, and distilled spirits for off-site consumption (Off-Sale General) for the Calvine Pointe ARCO AM/PM Project (PLNG23-017), based upon the following findings:

Determination of Public Convenience or Necessity (PCN)

Finding #1: The proposed use is compatible with neighborhood character.

Evidence #1: The nearest retail outlet selling alcohol is located approximately 850 feet to the east of the Project site (Walgreens). The nearest schools are more than one-quarter mile away to the east of the Project site (Early Beginnings Learning

Center – 8940 Brown Road, and Merryhill School – 9036 Calvine Road). The nearest park is Illa Collin Park (8320 Fintown Court), which is approximately 500 feet north of the Project site. While in proximity to residential neighborhoods, the AM/PM Convenience Store would not sell alcohol beyond 2 am, in accordance with state law. ARCO AM/PM stores are designed using the principles of Crime Prevention Through Environmental Design (CPTED), and AM/PM conducts on-going staff training for age-restricted sales based on industry-proven materials. The store also has many operational features designed to ensure compliance with laws governing those sales, such as registers that contain features to assist in flagging under-age attempts to purchase. The store will feature security cameras and mirrors, prominently displayed with signage alerting customers that these features exist and are monitoring the premises. Based on the reviewed data, the location of the proposed business, and the operating guidelines that have been presented by the business, the determination of Public Convenience or Necessity and issuance of an ABC license will likely not result in increased calls for police service. The Police Department has determined that there is no public safety reason to oppose either a finding of Public Convenience or Necessity or the associated ABC license application.

Finding #2: The proposed use will be of benefit to the neighborhood.

Evidence #2:, Allowing the sale of alcoholic beverages at the property will allow customers to fuel their vehicles and purchase essential grocery items while reducing the number of trips they might otherwise need to make. AM/PM Convenience Store primarily sells snacks and non-alcoholic beverages, and serves as a small format grocery for the immediate community. Similar convenience stores are nearly a mile away, so the AM/PM convenience store provides a unique type of service to this underserved market. The Applicant notes that AM/PM is not a liquor store that attracts customers looking only for alcohol sales. The sale of alcoholic beverages will be a convenience to patrons who would already be stopping for gas and this will limit the number of traffic trips on the street system. Inherent in the reasons for shopping at convenience stores is the expectation that a small floor layout results in a more convenient “one-stop” shopping experience, as opposed to navigating through large grocery or drug store parking lots and floor layouts. ARCO AM/PM stores are designed using the principles of Crime

PASSED AND ADOPTED by the City Council of the City of Elk Grove this 28th day of February 2024




BOBBIE SINGH-ALLEN, MAYOR of the
CITY OF ELK GROVE

ATTEST:



JASON LINDGREN, CITY CLERK

APPROVED AS TO FORM:



JONATHAN P. HOBBS,
CITY ATTORNEY

Exhibit A
Calvine Pointe ARCO AM/PM (PLNG23-017)
Project Description

PROJECT DESCRIPTION

The proposed Calvine Pointe ARCO AM/PM Project (the “Project”) consists of a Conditional Use Permit and Major Design Review Amendment for the previously approved Calvine Pointe Project (EG-01-156) for a new fueling station with canopy, car wash, and convenience store within the existing Calvine Pointe Shopping Center. The Project also includes a Determination of Public Convenience or Necessity related to a Type 21 license from ABC due to an overconcentration of licenses and a higher-than-average crime rate in the Project site’s Census Tract. The Type 21 license allows for the sale of beer, wine, and distilled spirits for off-site consumption.

The Project shall comply with the City’s Climate Action Plan (CAP) for nonresidential development, including CAP measures related to energy efficiency (BE-4), solar readiness (BE-7), off-road construction fleet (TACM-8), and electric vehicle charging (TACM-9).

EXHIBIT B

PRELIMINARY COVER SHEET

- I HEREBY STATE THAT ALL EASEMENTS AS INDICATED IN STATEY TITLE COMPANY PRELIMINARY TITLE REPORT NO. 2200201001 DATED AS OF NOVEMBER 28, 2022 HAVE BEEN SHOWN HEREON AND/OR HAVE BEEN ACCOUNTED FOR IN NEWLY PLACED HEREON. ALL EASEMENTS PROPOSED TO BE ABANDONED OR OUTLINED AND/OR ALL EASEMENTS THAT CANNOT BE LOCATED ARE NOTED HEREON.
- LAURENCE WILSON
SURVEYOR
- DATE: 10/25/23
- No. 6712
Exp. 6-30-24
- EXCEPTIONS:
- FROM STEWART TITLE QUARANTY COMPANY, TITLE COMMITMENT NO. 2200201001, COMMITMENT DATE: NOVEMBER 28, 2022.
 - ITEMS 1, 25, 26, 27, 28, 29, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42 AFFECT AND HAVE NO DELINEABLE EASEMENTS.
 - AN EASEMENT FOR PUBLIC HIGHWAY OR ROAD AND ALL NECESSARY UTILITIES AND RIGHTS INCIDENTAL THERETO IN FAVOR OF THE SACRAMENTO AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 773033 AT PAGE 621 OF OFFICIAL RECORDS. EXCEPTION DOES NOT AFFECT SUBJECT PROPERTY AND IS NOT SHOWN.
 - AN EASEMENT FOR PUBLIC HIGHWAY OR ROAD AND ALL NECESSARY UTILITIES AND RIGHTS INCIDENTAL THERETO IN FAVOR OF THE SACRAMENTO AS SET FORTH IN A DOCUMENT RECORDED AS INSTRUMENT NO. 199709111114 OF OFFICIAL RECORDS. EXCEPTION DOES NOT AFFECT SUBJECT PROPERTY AND IS NOT SHOWN.
 - COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 20051122 AT PAGE 2350 OF OFFICIAL RECORDS. EXCEPTION AFFECTS, IS BLANKET IN NATURE AND IS NOT SHOWN.
 - THE TERMS, PROVISIONS AND CONDITIONS CONTAINED IN THAT CERTAIN DOCUMENT, ENTITLED "AGREEMENT TO MITIGATION, MONITORING AND REPORTING PROGRAM FOR CALVINE POINTE REZONE, TENTATIVE PARCEL MAP AND DESIGN REVIEW (NONRESIDENTIAL)", RECORDED IN BOOK 20061115 PAGE 1051 OF OFFICIAL RECORDS. EXCEPTION AFFECTS, IS BLANKET IN NATURE AND IS NOT SHOWN.
 - MATTERS CONTAINED IN DOCUMENT ENTITLED RECIPROCAL EASEMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF RECORDED IN BOOK 20070330 AT PAGE 1688 OF OFFICIAL RECORDS. SAID INSTRUMENT HAS BEEN ASSIGNED TO CALVINE SOUTH, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY BY DOCUMENT RECORDED IN BOOK 20070629 AT PAGE 1688 OF OFFICIAL RECORDS. SAID DOCUMENT WAS MODIFIED BY AN INSTRUMENT RECORDED IN BOOK 20080610 AT PAGE 1180 OF OFFICIAL RECORDS. SAID DOCUMENT WAS MODIFIED BY AN INSTRUMENT RECORDED IN BOOK 20100114 PAGE 0710 OF OFFICIAL RECORDS. SAID INSTRUMENT HAS BEEN ASSIGNED TO INLAND OVERSEAS ELK GROVE CALVINE, LLC, A DELAWARE LIMITED LIABILITY COMP RECORDED IN BOOK 2010715 AT PAGE 0999 OF OFFICIAL RECORDS. SAID DOCUMENT WAS MODIFIED BY AN INSTRUMENT RECORDED IN BOOK 20121207 PAGE 1459 OF OFFICIAL RECORDS. SAID DOCUMENT WAS MODIFIED BY AN INSTRUMENT RECORDED IN BOOK 20130128 PAGE 1013 OF OFFICIAL RECORDS. EXCEPTION AFFECTS, IS BLANKET IN NATURE AND IS NOT SHOWN.
 - MATTERS CONTAINED IN DOCUMENT ENTITLED DEFERRED IMPROVEMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF RECORDED IN BOOK 20070629 AT PAGE 1182 OF OFFICIAL RECORDS. EXCEPTION AFFECTS, IS BLANKET IN NATURE AND IS NOT SHOWN.
 - EASEMENT AND RIGHTS INCIDENTAL THERETO FOR WATER PIPELINE TO SACRAMENTO COUNTY WATER AGENCY, AS SET FORTH IN DOCUMENT RECORDED IN BOOK 20070629 AT PAGE 1633 OF OFFICIAL RECORDS. EXCEPTION AFFECTS AND IS SHOWN HEREON.
 - AN EASEMENT FOR PIPELINE AND RIGHTS INCIDENTAL THERETO IN FAVOR OF SACRAMENTO COUNTY WATER AGENCY, A STATUTORILY CREATED DISTRICT AS SET FORTH IN A DOCUMENT IN BOOK 20070629 PAGE 1633 OF OFFICIAL RECORDS, AFFECTS AS DESCRIBED THEREIN. EXCEPTION AFFECTS AND IS SHOWN HEREON.
 - AN EASEMENT FOR WATER PIPELINE AND RIGHTS INCIDENTAL THERETO IN FAVOR OF SACRAMENTO COUNTY WATER AGENCY, A STATUTORILY CREATED DISTRICT AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 20070629 PAGE 1634 OF OFFICIAL RECORDS, AFFECTS AS DESCRIBED THEREIN. EXCEPTION DOES NOT AFFECT SUBJECT PROPERTY.
 - MATTERS CONTAINED IN DOCUMENT ENTITLED ASSIGNMENT AND ASSUMPTION OF SITE DEVELOPMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF RECORDED IN BOOK 20070629 AT PAGE 1182 OF OFFICIAL RECORDS. EXCEPTION AFFECTS, IS BLANKET IN NATURE AND IS NOT SHOWN.
 - MATTERS CONTAINED IN DOCUMENT ENTITLED EASEMENT GRANT DEED AND AGREEMENT TO PERFORM MAINTENANCE (AND OTHER OBLIGATIONS REGARDING THE EASEMENTS) AND THE TERMS AND CONDITIONS THEREOF RECORDED IN BOOK 20070706 AT PAGE 1991 OF OFFICIAL RECORDS. EXCEPTION DOES NOT AFFECT SUBJECT PROPERTY.
 - MATTERS CONTAINED IN DOCUMENT ENTITLED DECLARATION (AND NOTICE) OF COVENANT TO GRANT RECIPROCAL ACCESS AND THE TERMS AND CONDITIONS THEREOF RECORDED IN BOOK 20070709 AT PAGE 0422 OF OFFICIAL RECORDS. EXCEPTION AFFECTS, IS BLANKET IN NATURE AND IS NOT SHOWN.
 - EASEMENT AND RIGHTS INCIDENTAL THERETO FOR SENIOR TO COUNTY SANITATION DISTRICT, NO. 1 OF SACRAMENTO COUNTY, AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 20070712 AT PAGE 1080 OF OFFICIAL RECORDS. EXCEPTION DOES NOT AFFECT SUBJECT PROPERTY.
 - MATTERS CONTAINED IN DOCUMENT ENTITLED STORM WATER TREATMENT ACCESS AND MAINTENANCE AGREEMENT AND THE TERMS AND CONDITIONS THEREOF RECORDED IN BOOK 20070719 AT PAGE 0001 OF OFFICIAL RECORDS. EXCEPTION AFFECTS AND IS BLANKET IN NATURE.
 - MATTERS CONTAINED IN DOCUMENT ENTITLED FRONTAGE IMPROVEMENT AGREEMENT AND THE TERMS AND C 20070725 AT PAGE 0336 OF OFFICIAL RECORDS. EXCEPTION AFFECTS, IS BLANKET IN NATURE AND IS NOT SHOWN.
 - COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, MATTERS, CHARGES AND ASSESSMENTS AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 20070928 PAGE 0518 OF OFFICIAL RECORDS. SAID COVENANTS, CONDITIONS, AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE DEED OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE. SAID COVENANTS, CONDITIONS AND RESTRICTIONS HAVE BEEN MODIFIED BY AN INSTRUMENT, RECORDED IN BOOK 20071218 PAGE 0514 OF OFFICIAL RECORDS. EXCEPTION AFFECTS, IS BLANKET IN NATURE AND IS NOT SHOWN.
 - EASEMENT AND RIGHTS INCIDENTAL THERETO FOR SENIOR TO COUNTY SANITATION DISTRICT NO. 1 OF SACRAMENTO COUNTY, AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 20071214 AT PAGE 1301 OF OFFICIAL RECORDS. EXCEPTION AFFECTS AND IS SHOWN HEREON.
 - MATTERS CONTAINED IN DOCUMENT ENTITLED BOUNDARY LINE ADJUSTMENTS/CERTIFICATE OF COMPLIANCE AND THE TERMS AND CONDITIONS THEREOF RECORDED IN BOOK 20090218 AT PAGE 1498 OF OFFICIAL RECORDS. EXCEPTION AFFECTS AND IS BLANKET IN NATURE.
 - MATTERS CONTAINED IN DOCUMENT ENTITLED STORM WATER TREATMENT ACCESS AND MAINTENANCE AGREEMENT AND THE TERMS AND CONDITIONS THEREOF RECORDED IN BOOK 20091009 AT PAGE 0498 OF OFFICIAL RECORDS. EXCEPTION AFFECTS AND IS BLANKET IN NATURE.
 - AN EASEMENT FOR OTHER PROVISIONS FOR THE PURPOSE OF LANDSCAPING, PUBLIC UTILITIES AND PEDESTRIAN ACCESS AND RIGHTS INCIDENTAL THERETO AS SHOWN ON THE RECORDED MAP OF PARCEL MAP, RECORDED IN BOOK 214 PAGE 4 OF PARCEL MAP, WHICH AFFECTS SAID LAND. EXCEPTION AFFECTS AND IS SHOWN HEREON.
 - COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 20100715 AT PAGE 1008 OF OFFICIAL RECORDS. EXCEPTION AFFECTS, IS BLANKET IN NATURE AND IS NOT SHOWN.
 - MATTERS CONTAINED IN DOCUMENT ENTITLED RESTRICTIVE COVENANT AND (INDEMNIFICATION) AGREEMENT AND THE TERMS AND CONDITIONS THEREOF RECORDED IN BOOK 20100715 AT PAGE 1009 OF OFFICIAL RECORDS. EXCEPTION AFFECTS, IS BLANKET IN NATURE AND IS NOT SHOWN.

PROJECT DATA

LOCATION: 8800 BLOCK CALVINE RD
ELK GROVE, CALIFORNIA 95828

LOT AREA: 179,212 S.F. (1.82 AC)

DEVELOPMENT AREA: 452,266 S.F. (1.20 AC)

PROPOSED ONSITE GROUND COVER SUMMARY:

C-STONE:	3,349 S.F.	(6.4%)
CARWASH:	1,141 S.F.	(2.2%)
CANOPY:	7,104 S.F.	(13.0%)
PARKING AND MANUEVERING:	32,393 S.F.	(62.0%)
LANDSCAPE:	8,279 S.F.	(15.0%)
TOTAL:	52,266 S.F.	(100.0%)

BUILDING SETBACKS:

FRONT SETBACK: 25 FEET
STREET SIDE: 0 FEET
SIDE INTERIOR: 0 FEET
REAR: 0 FEET

DRIVE THROUGH STANDARDS:

DRIVE-THROUGH AISLES SHALL HAVE A MINIMUM TEN (10' 0") FOOT INTERIOR RADIUS AT CURVES AND A MINIMUM TWELVE (12' 0") FOOT WIDTH.

DRIVE-UP WINDOWS AND REMOTE TELLERS (PAY/CODE STATION) SHALL PROVIDE AT LEAST ONE HUNDRED EIGHTY (180' 0") FEET OF STACKING SPACE FOR EACH FACILITY, AS MEASURED FROM THE SERVICE WINDOW OR LANE TO THE ENTRY POINT INTO THE DRIVE-UP LANE. NONFOOD AND/OR NONBEVERAGE BUSINESSES MAY REDUCE THE STACKING SPACE TO A MINIMUM OF SIXTY (60' 0") FEET.

EACH DRIVE-THROUGH ENTRANCE/EXIT SHALL BE AT LEAST FIFTY (50' 0") FEET FROM AN INTERSECTION OF PUBLIC RIGHTS-OF-WAY, MEASURED AT THE CLOSEST INTERSECTING CURBS, AND AT LEAST TWENTY-FIVE (25' 0") FEET FROM THE CURB-OUT ON AN ADJACENT PROPERTY.

LANDSCAPING:

FOR GAS STATIONS, A MINIMUM OF FIFTEEN (15%) PERCENT OF THE SITE SHALL BE LANDSCAPED, CONCENTRATED AT THE PERIMETER OF THE SITE. STREET FRONTAGE LANDSCAPING SHALL BE A MINIMUM OF FIFTEEN (15' 0") FEET IN WIDTH AND BERMED TO NO LESS THAN TWO (2' 0") FEET IN HEIGHT. MINIMUM FIVE (5' 0") FOOT-WIDE LANDSCAPE PLANTER AREAS SHALL BE PROVIDED ADJACENT TO ALL OTHER EXTERIOR PROPERTY LINES.

ALL SETBACKS = 100% LANDSCAPED PER CITY CODE, NOTE THAT SIDE SETBACK IS ZERO BUT REQUIRES A 6 FOOT PLANTER

LANDSCAPED ISLANDS, IN ADDITION TO THE PERIMETER LANDSCAPING REQUIRED BY THIS CHAPTER, PARKING LOTS OF FIVE (5) SPACES OR MORE SHALL PROVIDE A LANDSCAPED ISLAND MEASURING A MINIMUM OF EIGHT (8' 0") FEET BY SIXTEEN (16' 0") FEET AT A RATIO OF ONE (1) ISLAND FOR EVERY EIGHT (8) SPACES. AS A MINIMUM, THE ISLANDS SHALL BE PLACED EVERY TEN (10) SPACES.

A FIVE (5' 0") FOOT-WIDE PLANTER BETWEEN THE DRIVE-THROUGH AISLE AND THE PARKING AREA.

A MINIMUM THREE (3' 0") FOOT-TALL, MAXIMUM FOUR (4' 0") FOOT-TALL PLANTER WITH LOW SHRUBS THAT SCREENS THE DRIVE-THROUGH AISLES FROM THE ADJUTING PUBLIC RIGHT-OF-WAY SHALL BE USED TO MINIMIZE THE VISUAL IMPACT OF READERBOARD SIGNS AND DIRECTIONAL SIGNS.

REQUIRED PARKING SPACE CALCULATION:

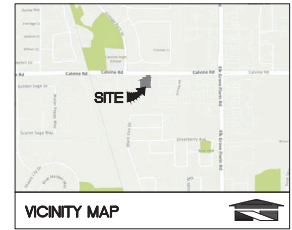
CONVENIENCE STORES: 4 SPACES/1,000 SF. (3,349/1,000 X 4) = 13.4
CAR WASHING AND DETAILING - SELF-SERVICE: 2 SPACES/WASH BAY
FUELING STATION: NONE REQUIRED

PROVIDED PARKING = 19
NUMBER OF PARKING SPACES IN ISOLATED PARKING AREA
STANDARD PARKING DIMENSION: 9'x19'

BICYCLE PARKING REQUIREMENTS (SHORT TERM): 5% OF REQUIRED VEHICLE SPACES.
REQUIRED BICYCLE PARKING (SHORT TERM) = 1
PROVIDED BICYCLE PARKING (SHORT TERM) = 2

SHEET INDEX

PCS	PRELIMINARY COVER SHEET
PSF	PRELIMINARY SITE PLAN
PPD	PRELIMINARY DEMO PLAN
PSM	PRELIMINARY GRADING AND DRAINAGE PLAN
PSWD	PRELIMINARY STORMWATER QUALITY CONCEPTUAL PLAN
PL-1	PRELIMINARY LANDSCAPE PLAN
PL-2	PRELIMINARY SHADING PLAN
PL-3	PRELIMINARY NOTES & DETAILS
PL-4	PRELIMINARY NOTES & DETAILS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
G2.1	CANOPY ELEVATIONS
G1.4	TRASH/RECYCLE ENCLOSURE
S1.1	PHOTOMETRIC PLAN
	SIGNAGE PLAN



OWNER:
LYCOMING DEVELOPMENT COMPANY
825 N STREET, SUITE 300
SACRAMENTO, CA 95814
TEL: (916) 442-4600
CONTACT: PAUL S. PATRICHAK

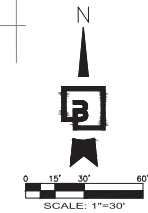
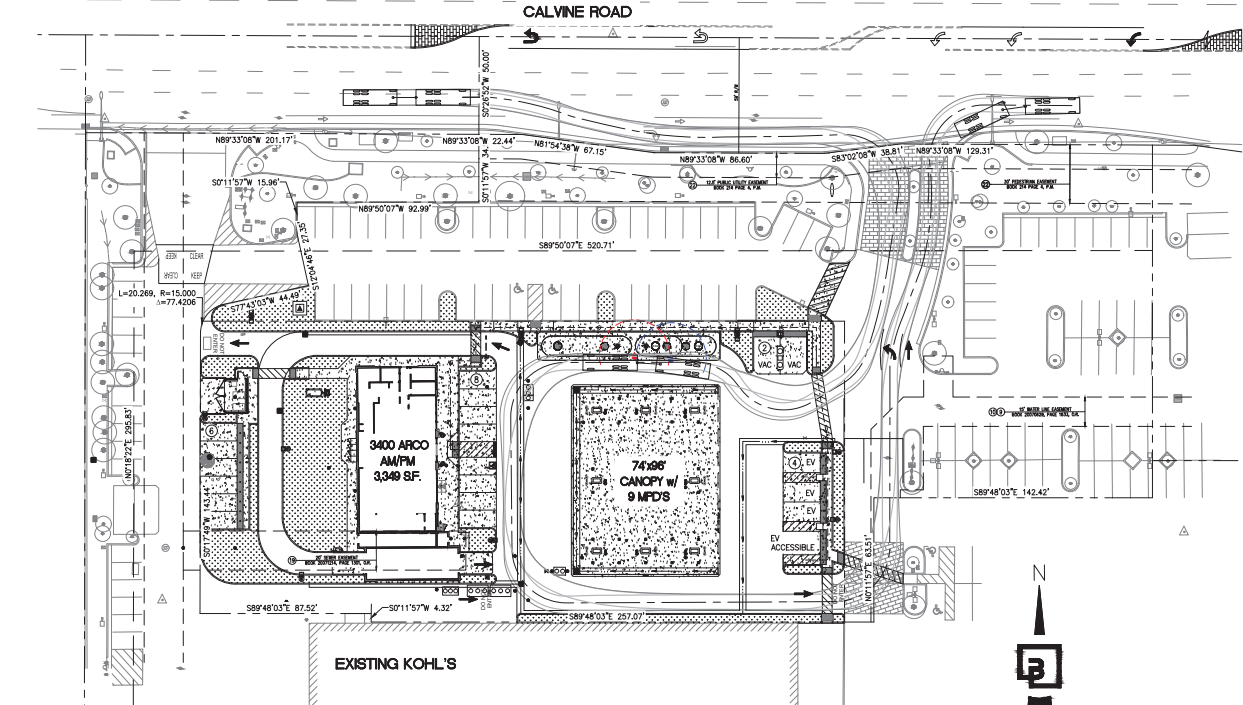
APPLICANT:
BP PRODUCTS NORTH AMERICA INC.
30 SOUTH WACKER DRIVE
CHICAGO, IL 60606
TEL: (800) 452-6626
CONTACT: SHANNON NICHOLS

AGENT FOR OWNER:
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (252) 251-6222
CONTACT: LESLIE BURKHODE



Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
(252) 251-6222
barghausen.com

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Preliminary Not For Construction

PCS

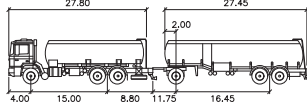
PRELIMINARY SITE PLAN/COVER SHEET

① SITE PLAN NOTES:

1. EXISTING RIGHT-OF-WAY LINE TO REMAIN.
2. PROPOSED BUILDING AS NOTED.
3. PROPOSED SOLID WASTE ENCLOSURE.
4. PROPOSED HYDRAULICALLY ISOLATED FUELING ISLAND WITH OVERHEAD CANOPY.
5. PROPOSED UNDERGROUND STORAGE TANKS.
6. PROPOSED ASPHALT PAVING.
7. PROPOSED CONCRETE PAVING.
8. PROPOSED BARRIER CURB.
9. PROPOSED ACCESSIBLE PARKING STALL.
10. PROPOSED STANDARD PARKING STALL, TYPICAL.
11. PROPOSED BIKE RACK.
12. PROPOSED LOCATION OF CAR WASH.
13. PROPOSED VACUUM SPACE, TYPICAL.
14. EXISTING DRIVEWAY (WIDTH PER PLAN).
15. PROPOSED EV STALL, TYPICAL.
16. PROPOSED VACUUM EQUIPMENT.
17. PROPOSED LOCATION OF AIR/WATER UNIT.
18. PROPOSED CONCRETE SIDEWALK.
19. PROPOSED GUARD POST, TYPICAL.
20. PROPOSED LOT LIGHT, TYPICAL: REFER TO PHOTOMETRIC PLANS FOR ADDITIONAL INFORMATION.
21. PROPOSED PAD-MOUNTED TRANSFORMER PER PURVEYOR REQUIREMENTS.
22. PROPOSED ACCESSIBLE PATH.
23. PROPOSED LANDSCAPE AREA, TYPICAL.
24. PROPOSED CONTECH TREATMENT DEVICE.
25. DIRECTIONAL PAVEMENT MARKINGS, TYPICAL.
26. PROPOSED CARWASH LOCATION OF CLEARANCE BAR.
27. LOCATION OF PROPOSED VENT STACK AND HEAVY TANK.
28. PROPOSED SIDEWALK.
29. PROPOSED MID SIGN.
30. PROPOSED CURB AND GUTTER.
31. EXISTING SMUD VAULT TO REMAIN: REPLACE LID WITH TRAFFIC PAVED COVER AS REQUIRED.
32. PROPOSED IMPROVED PAWING SURFACE ALONG PATH OF TRAVEL TO C-STORE. REPAVE WITH STAMPED CONCRETE, PAVERS OR SIMILAR ALTERNATIVE.
33. MODIFY MEDIAN AND EXISTING CURBING TO PROVIDE QUEUING STORAGE AND TAPER LENGTH AS INDICATED. A TOTAL OF FOUR EXISTING TREES IN THE MEDIAN ARE PROPOSED TO BE REMOVED BY THE MEDIAN MODIFICATIONS.
34. REPLACE DETERIORATED "NO LEFT TURN" SIGN, REATTACH TO EXISTING STOP SIGN, TYP. OF TWO SIGNS.
35. SEWER EASEMENT PROPOSED TO BE VACATED.

NOTES:

1. NO DEVIATIONS PROPOSED FROM CITY STANDARDS IN AREAS BEING MODIFIED.
2. EXISTING CROSS ACCESS AGREEMENT IS IN PLACE FOR OVERALL SHOPPING CENTER.
3. EXISTING EASEMENTS IN CONFLICT WITH BUILDINGS WILL BE RELOCATED AS NECESSARY IN CONJUNCTION WITH THE AGENCY.
4. FOR FIRE TRUCK TURNING, REVIEW PREVIOUSLY APPROVED OVERALL CALVINE POINTE SITE PLAN BY RSC ENGINEERING, INC.



Arco65' feet

First Part Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 35.0
First Part Track	: 7.70	Articulating Angle	: 70.0
Trailer Track	: 7.70		

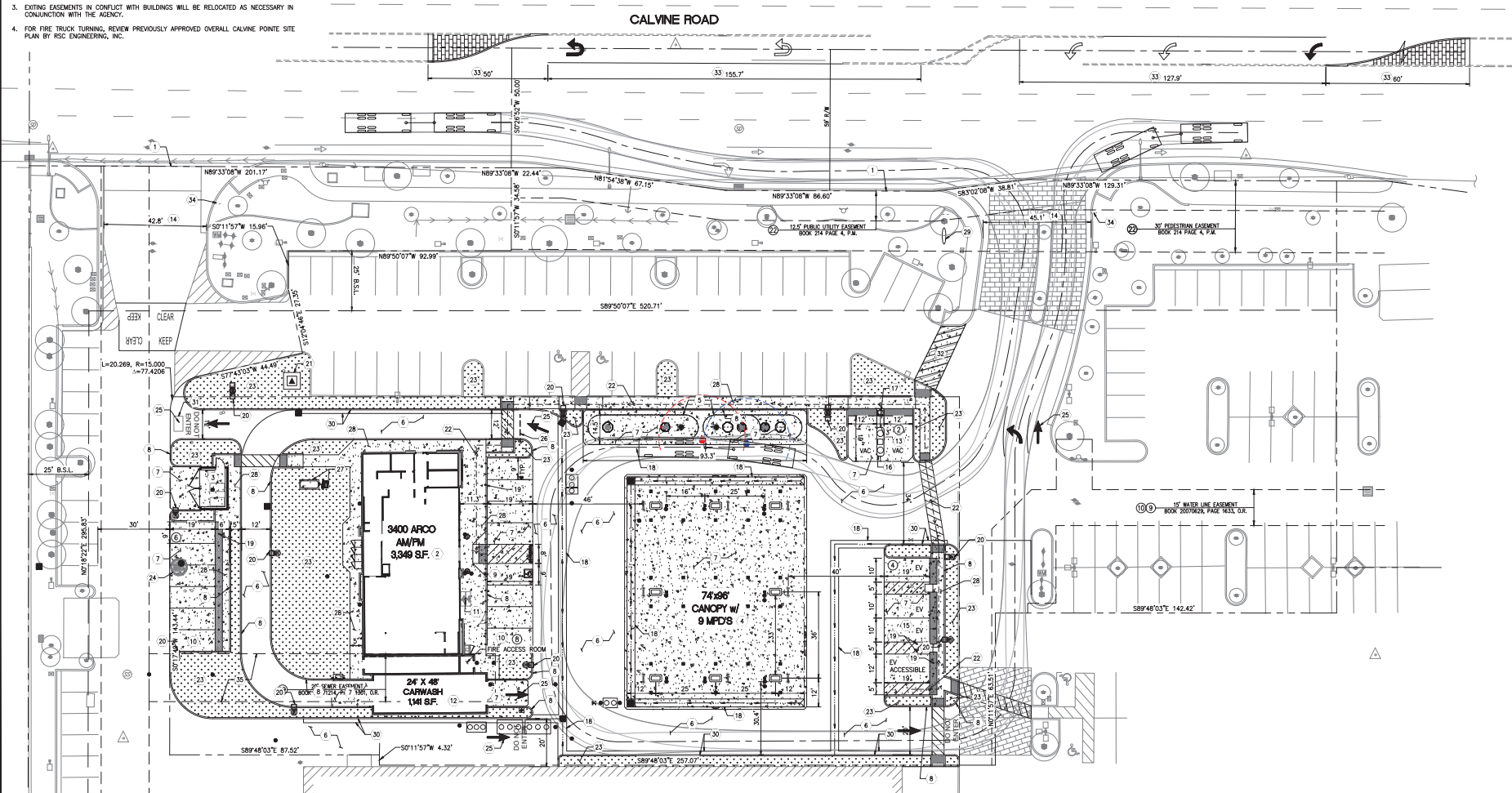


CLIENT:

BP WEST COAST PRODUCTS, LLC

Banghaus Consulting Engineers, Inc.
 18215 72nd Avenue South
 Kent, WA 98032
 (253) 874-8292
 banghaus.com

NO.	DATE	REVISION DESCRIPTION



EXISTING KOHL'S

Preliminary Not For Construction

DEVELOPMENT INFORMATION:

ARCO NTI
 3400 am/pm
 FUEL CANOPY w/ 9 MPD'S
 24'x48' CAR WASH

SITE ADDRESS:
 CALVINE ROAD
 ELK GROVE, CALIFORNIA

FACILITY # TBD

DESIGNED BY: JLR
 ALIANCE DATE:

DRAWN BY: KCH
 BP REPR:

VERSION:
 PROJECT NO: 22223

DRAWING TITLE:
PRELIMINARY SITE PLAN/COVER SHEET

SHEET NO:

PSP

FILE: P:\220223\22223\preliminary\CAN\22223_PSP.dwg Date/TIME: 11/16/2023 5:50 PM Scale: 1" = 1' SHEET: 001

PRELIMINARY DEMO PLAN

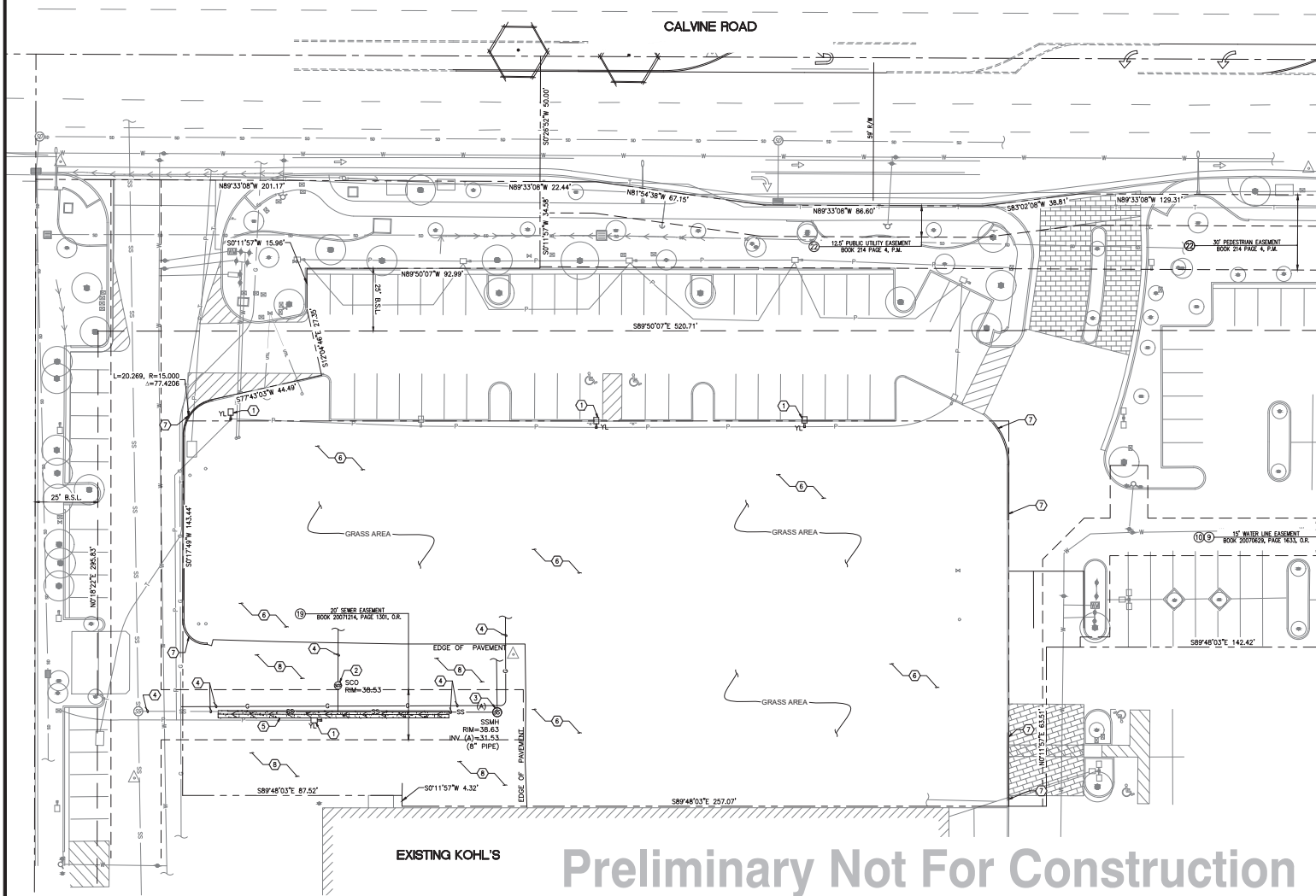
DEMOLITION NOTES:


1. REMOVE EXISTING LOT LIGHT, TYPICAL.
2. REMOVE EXISTING SANITARY SEWER CLEAN OUT.
3. REMOVE EXISTING SANITARY SEWER MANHOLE.
4. REMOVE EXISTING UNDERGROUND UTILITIES, TYP.
5. DEMOLISH EXISTING CONCRETE SWALE.
6. CLEAR AND GRUB AREA OF VEGETATION.
7. DEMOLISH EXISTING CURB.
8. DEMOLISH EXISTING ASPHALT PAVEMENT.





NOTES:

1. NO DEVIATIONS PROPOSED FROM CITY STANDARDS IN AREAS BEING MODIFIED.
2. EXISTING CROSS ACCESS AGREEMENT FOR OVERALL SHOPPING CENTER.
3. EXISTING EASEMENTS IN CONFLICT WITH BUILDINGS WILL BE RELOCATED AS NECESSARY IN CONJUNCTION WITH THE AGENCY.










Burghausen Consulting Engineers, Inc.
10215 72nd Avenue South
Kent, WA 98032
425.351.6292
burghausen.com

NO.	DATE	REVISION DESCRIPTION



DEVELOPMENT INFORMATION:
ARCO NTI
3400 gal/ptm
FUEL CANOPY w/ 9 MPD's
24x48 CAR WASH

SITE ADDRESS:
CALVINE ROAD
ELK GROVE, CALIFORNIA
FACILITY # TBD

DESIGNED BY: JLR	ALLENANCE DATE:
DRAWN BY: KCH	BP REVISION:
VERSION: NEW	PROJECT NO: 22223

DRAWING TITLE:
PRELIMINARY DEMO PLAN

SHEET NO: _____

Preliminary Not For Construction

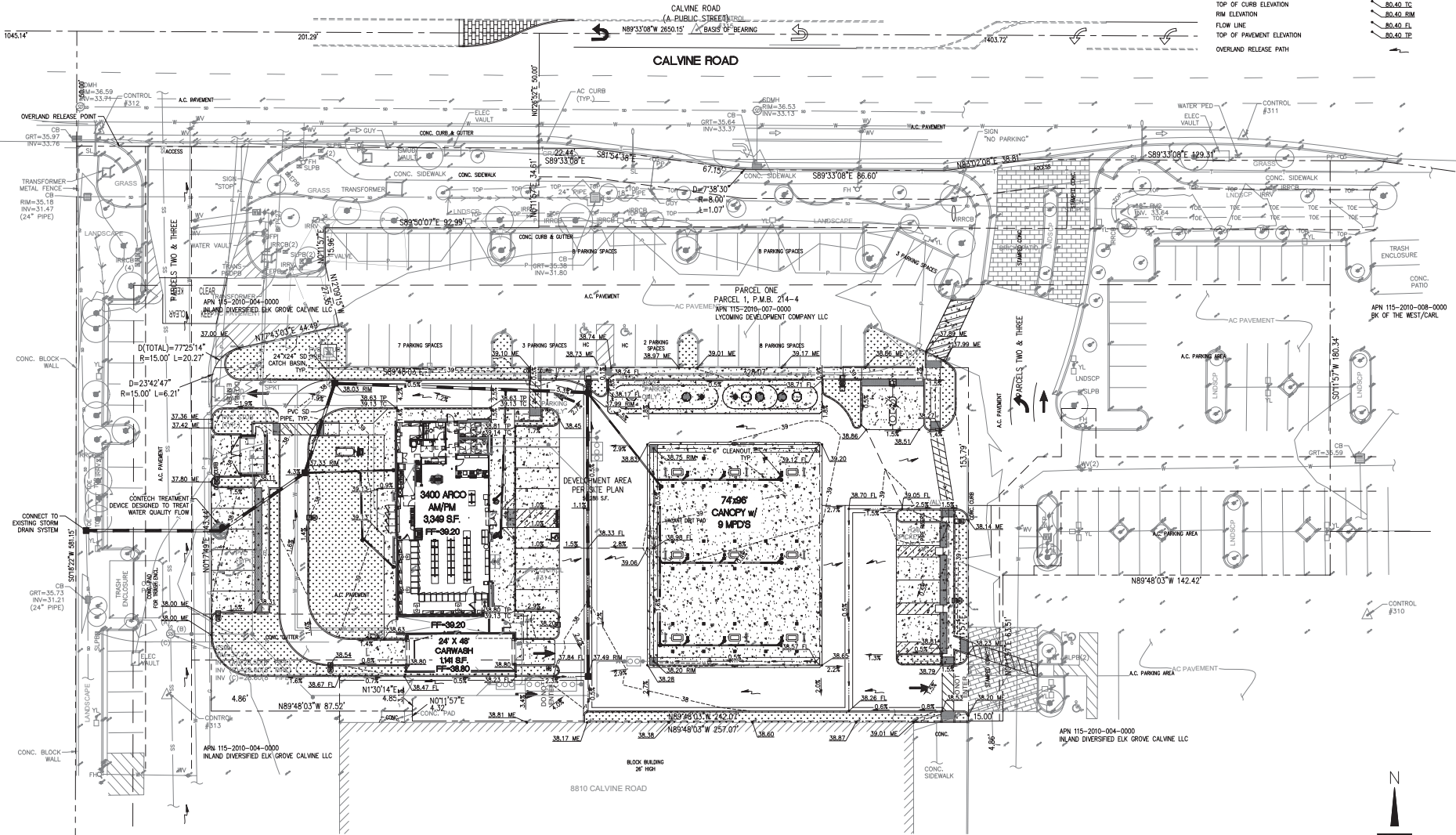
PDP

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PRELIMINARY GRADING AND DRAINAGE PLAN

LEGEND:

- PROPOSED CONTOUR
- EXISTING CONTOUR
- GRADE BREAK/RIDGELINE
- PROPOSED GRADING SLOPE
- SPOT ELEVATION
- MATCH EXISTING ELEVATION
- TOP OF CURB ELEVATION
- RM ELEVATION
- FLOW LINE
- TOP OF PAVEMENT ELEVATION
- OVERLAND RELEASE PATH



CLIENT:

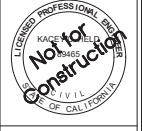



BP WEST COAST PRODUCTS, LLC



Boroughmann Consulting Engineers, Inc.
 10215 72nd Avenue South
 Kent, WA 98032
 (206) 837-6292
 borghmann.com

NO.	DATE	REVISION DESCRIPTION



DEVELOPMENT INFORMATION:

ARCO NTI
 3400 am/pm
 FUEL CANOPY w/ 9 MPD's
 24x48 CAR WASH

SITE ADDRESS:
 CALVINE ROAD
 ELK GROVE, CALIFORNIA

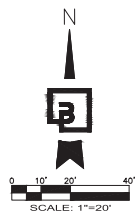
FACILITY #TBD

DESIGNED BY: JLR ALLENANCE ZONE
 CHECKED BY: KCH BP REPS
 DRAWN BY: NWH ALLENANCE FLD
 VERSION: PROJECT NO: 22223

DRAWING TITLE:
PRELIMINARY GRADING AND DRAINAGE PLAN

SHEET NO:

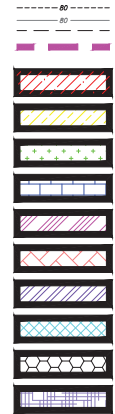
Preliminary Not For Construction



PGM

PRELIMINARY STORMWATER QUALITY PLAN

LEGEND:
 PROPOSED CONTOUR
 EXISTING CONTOUR
 GRADE BREAK/RIDGELINE
 DRAINAGE AREA BOUNDARY



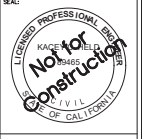
- DMA 1 (8,892 SF)
- DMA 2 (7,924 SF)
- DMA 3 (13,683 SF)
- DMA 4 (7,446 SF)
- DMA 5 (1,950 SF)
- DMA 6 (339 SF)
- DMA 7 (5,926 SF)
- DMA 8 (4,645 SF)
- DMA 9 (489 SF)
- DMA 10 (617 SF)

CLIENT:

BP WEST COAST PRODUCTS, LLC

Boroughmann Consulting Engineers, Inc.
 16215 72nd Avenue South
 Kent, WA 98032
 (206) 831-6292
 boroughmann.com

NO.	DATE	REVISION DESCRIPTION



DEVELOPMENT INFORMATION:
 ARCO NTI
 3400 am/pm
 FUEL CANOPY w/ 9 MPD's
 24'x48' CAR WASH

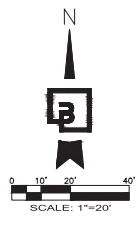
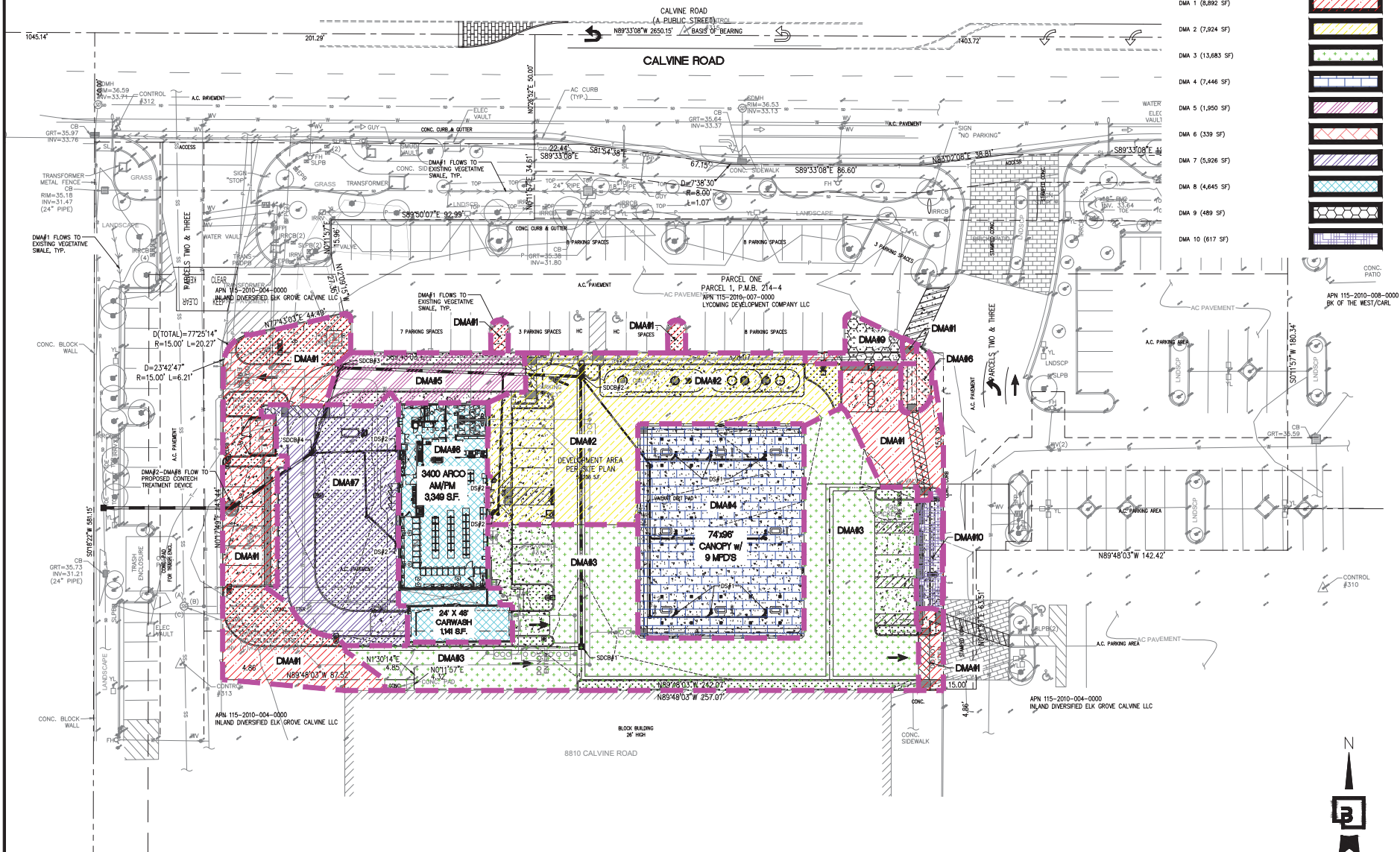
SITE ADDRESS:
 CALVINE ROAD
 ELK GROVE, CALIFORNIA

FACILITY #TBD

DESIGNED BY: JLR ALIANCE ENG'G
CHECKED BY: KCH BP REPR
DRAWN BY: NWW ALIANCE ENG'G
VERSION: PROJECT NO: 22223

DRAWING TITLE:
 PRELIMINARY STORMWATER QUALITY PLAN

SHEET NO:



Preliminary Not For Construction

PSWQ

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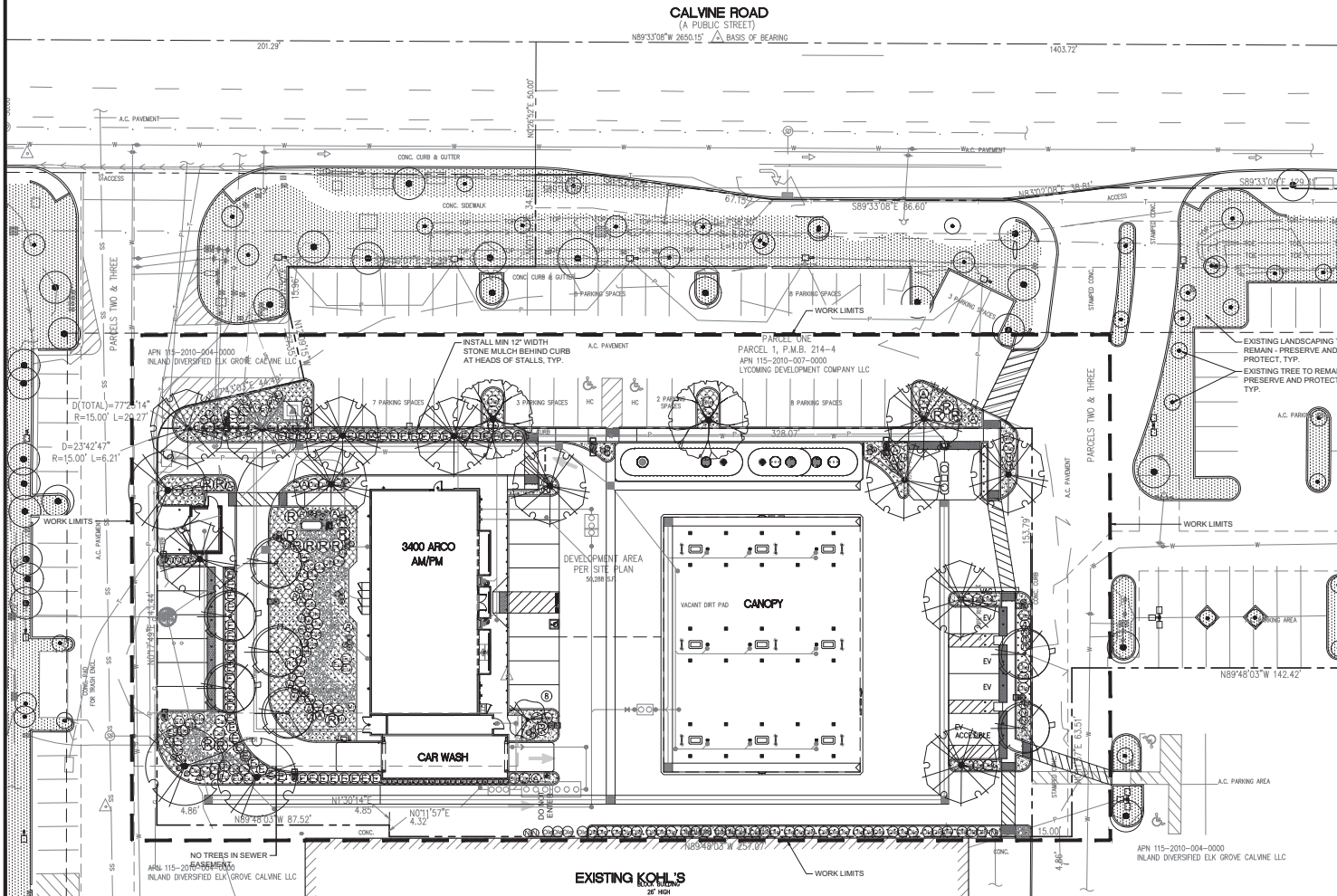
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WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

JEFFREY M. VARLEY, P.L.A. DATE 7/26/2023

PRELIMINARY LANDSCAPE PLAN



PROJECT DATA:

LOCATION: 8800 BLOCK CALVINE RD
ELK GROVE, CALIFORNIA 95828
LOT AREA: 479,212 S.F. (1.82 AC)
LANDSCAPE: 8,258 S.F.

LANDSCAPE ARCHITECT:

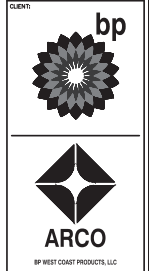
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72nd Avenue South
Kent, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: JEFFREY VARLEY, R.L.A.

GENERAL NOTES:

- THIS PLAN SET FOR LANDSCAPE IMPROVEMENTS SHALL BE USED IN CONJUNCTION WITH THE FOLLOWING PLANS ALSO PREPARED FOR THIS PROJECT AND SITE:
 - SITE SURVEY
 - CIVIL ENGINEERING PLANS
 - ARCHITECTURAL PLANS
 - ILLUMINATION PLANS (UNDER SEPARATE PERMIT)
 IF DISCREPANCIES ARE FOUND BETWEEN THIS PLAN SET AND THOSE REFERENCED ABOVE, SUCH DISCREPANCIES SHALL BE COORDINATED WITH BARGHAUSEN CONSULTING ENGINEERS, INC. AND RESOLVED PRIOR TO CONSTRUCTION ACTIVITIES.
- GENERAL NOTES ON THE CIVIL ENGINEERING COVER SHEET FOR THIS PROJECT AND SITE ARE APPLICABLE TO THIS LANDSCAPE PLAN SET.
- ALL PROPOSED PLANTINGS WILL BE IRRIGATED WITH A WATER-WISE AUTOMATIC IRRIGATION SYSTEM THAT CONFORMS TO ALL STATE AND LOCAL REGULATIONS.
- SEE SHEET PL-3 FOR PLANT SCHEDULE AND RELATED NOTES.
- SEE SHEET PL-2 FOR TREE SHADING CALCULATIONS.
- SEE SHEET PL-4 FOR LANDSCAPE NOTES & DETAILS.
- ALL LANDSCAPE AREAS SHALL BE PERPETUALLY MAINTAINED BY THE OWNER.

LANDSCAPE LEGEND

SYMBOL	DESCRIPTION	QUANTITY
	EXISTING TREE TO BE RETAINED - PROTECT DURING CONSTRUCTION	—
	EXISTING SHRUB & GROUND COVER BED TO REMAIN - PROTECT DURING CONSTRUCTION.	—
	STONE MULCH 3/4" TO 1 1/2" SONOMA GOLD STONE MULCH (OR APPROVED EQUAL) OVER WEED BARRIER FABRIC, SPREAD THROUGHOUT AREAS SHOWN ON LANDSCAPE PLAN. 100% COVERAGE, APPLY MINIMUM 3" DEPTH	922 SF (QTY REPRESENTS STONE MULCH SHOWN ON THE PLAN. IT DOES NOT INCLUDE STONE MULCH REQUIRED THROUGHOUT THE PLANTED AREAS.)



Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

NO.	DATE	REVISION DESCRIPTION
1	7.26.23	ISSUED PER COMMENTS



Not for Construction

DEVELOPMENT PERMITS:
ARCO NTI
3400 am/pm
FUEL CANOPY w/ 9 MPD's
24x48' CAR WASH

SITE ADDRESS:
CALVINE ROAD
ELK GROVE, CALIFORNIA
FACILITY # TBD

DESIGNED BY: LRP
CHECKED BY: LRP
DATE: JUN 14 2023

PROJECT NO: 22223

DRAWING TITLE:
PRELIMINARY LANDSCAPE PLAN

SHEET NO: PL-1

Preliminary Not For Construction



DATE: 7/26/2023 12:45 PM SCALE: 1" = 40'



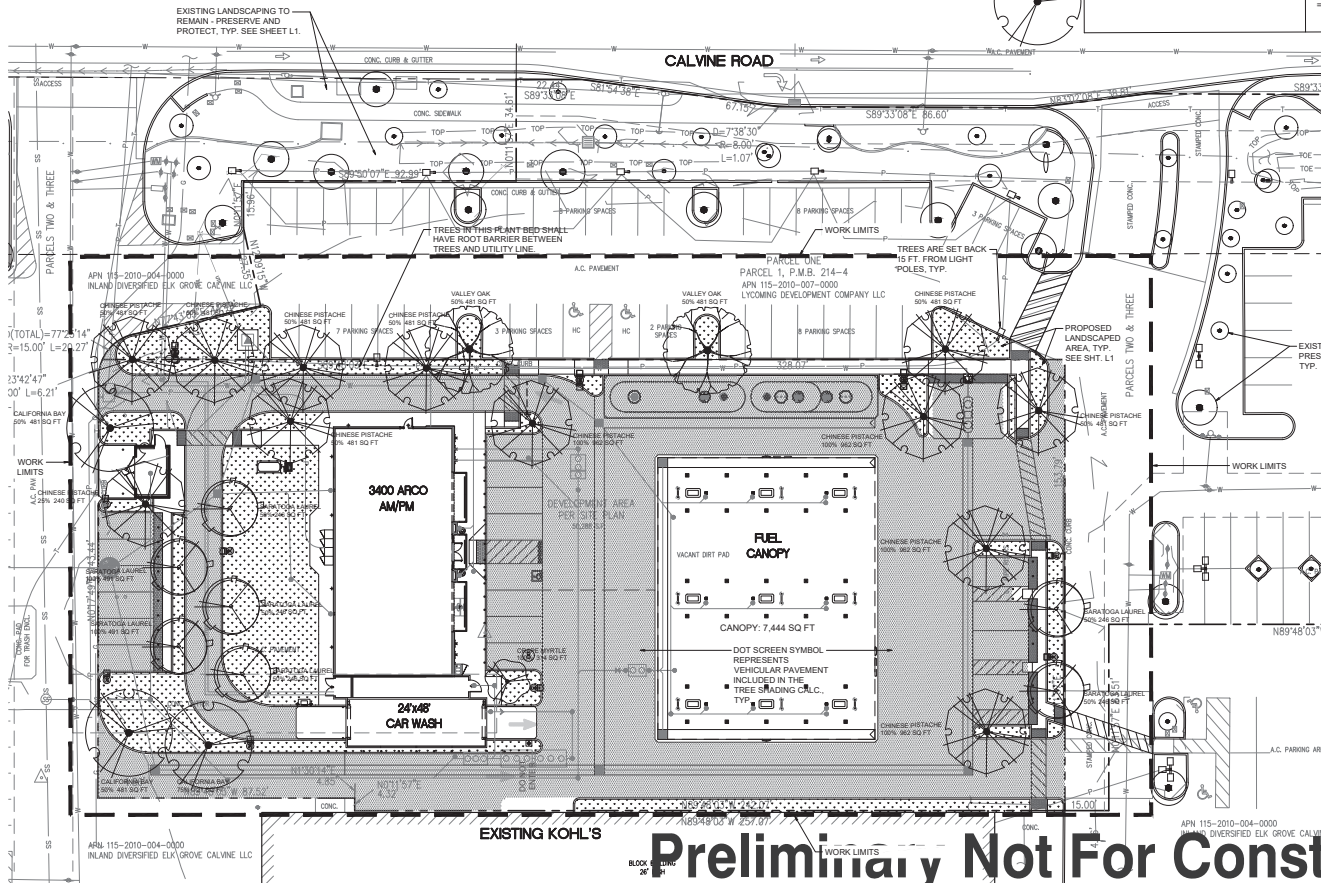
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PRELIMINARY SHADING PLAN

PARKING LOT SHADING CALCULATIONS ELK GROVE, CA

SYMBOL	BOTANICAL NAME / COMMON NAME	QUANTITY AT 100%	QUANTITY AT 75%	QUANTITY AT 50%	QUANTITY AT 25%	TOTAL
	LAGERSTROEMIA INDICA/FAURIEI 'NATCHEZ' / NATCHEZ GRAPE MYRTLE	1 AT 100% 314 SQ. FT. EACH = 314 SQ. FT.	0 AT 75% 235 SQ. FT. EACH = 0 SQ. FT.	0 AT 50% 157 SQ. FT. EACH = 0 SQ. FT.	0 AT 25% 79 SQ. FT. EACH = 0 SQ. FT.	314 SQ. FT.
	PISTACIA CHINENSIS 'KEITH DAVY' / KEITH DAVY CHINESE PISTACHE	4 AT 100% 962 SQ. FT. EACH = 3,849 SQ. FT.	0 AT 75% 721 SQ. FT. EACH = 0 SQ. FT.	8 AT 50% 481 SQ. FT. EACH = 3,848 SQ. FT.	0 AT 25% 240 SQ. FT. EACH = 0 SQ. FT.	7,696 SQ. FT.
	QUERCUS LOBATA / VALLEY OAK	0 AT 100% 962 SQ. FT. EACH = 0 SQ. FT.	0 AT 75% 721 SQ. FT. EACH = 0 SQ. FT.	2 AT 50% 481 SQ. FT. EACH = 962 SQ. FT.	0 AT 25% 240 SQ. FT. EACH = 0 SQ. FT.	962 SQ. FT.
	LAURUS X 'SARATOGA' / SARATOGA HYBRID LAUREL	2 AT 100% 491 SQ. FT. EACH = 982 SQ. FT.	0 AT 75% 368 SQ. FT. EACH = 0 SQ. FT.	5 AT 50% 246 SQ. FT. EACH = 1,230 SQ. FT.	0 AT 25% 123 SQ. FT. EACH = 0 SQ. FT.	2,212 SQ. FT.
	UMBELLULARIA CALIFORNICA / BAY LAUREL	0 AT 100% 962 SQ. FT. EACH = 0 SQ. FT.	1 AT 75% 721 SQ. FT. EACH = 721 SQ. FT.	2 AT 50% 481 SQ. FT. EACH = 962 SQ. FT.	0 AT 25% 240 SQ. FT. EACH = 0 SQ. FT.	1,683 SQ. FT.
TOTAL TREE SHADE PROVIDED:						12,867 SQ. FT.
50% TOTAL SHADE REQUIRED:						11,387 SQ. FT.
PERCENT SHADE PROVIDED:						56.50%

TOTAL GROSS VEHICULAR PAVED AREA (EXCLUDING FUEL CANOPY): 22,773 SF
NET PARKING LOT SQUARE FOOTAGE FOR TREE SHADING CALC.: 22,773 SQ. FT.
MINIMUM 50% REQUIRED TO BE SHADDED: 22,773 SF x 50% = 11,387 SQ. FT. REQ'D.



Preliminary Not For Construction



CLIENT: bp

ARCO
BP WEST COAST PRODUCTS, LLC

Borghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kirkland, WA 98032
(206) 821-6292
borghausen.com

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Not for Construction

DEVELOPMENT INFORMATION:
ARCO NTI
3400 am/pm
FUEL CANOPY w/ 9 MPD's
24x48 CAR WASH

SITE ADDRESS:
CALVINE ROAD
ELK GROVE, CALIFORNIA

FACILITY # TBD

DESIGNED BY	LRP	ALLEN	ZANE
DRAWN BY	JUNY	BP	RENE
VERSION	LRP	ALLEN	PKR
		PROJECT NO.	22223

DRAWING TITLE:
PRELIMINARY SHADING PLAN

SHEET NO.: PL-2



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PRELIMINARY LANDSCAPE NOTES + DETAILS

PLANT SCHEDULE

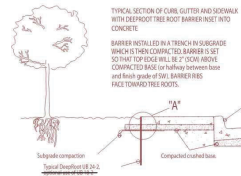
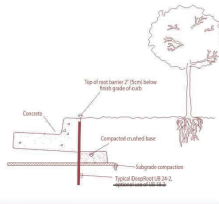
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	WATER USE
	1	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE 15' TO 20' WIDTH X 25' HT.	B & B	15 GAL	LOW
	12	PISTACIA CHINENSIS 'KEITH DAVEY' / KEITH DAVEY CHINESE PISTACHE 30' TO 35' WIDTH X 60' HT.	B & B	24" BOX	LOW
	2	QUERCUS LOBATA / VALLEY OAK 30' TO 35' WIDTH X 70' HT.	B & B	15 GAL	LOW
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	WATER USE
	7	LAURUS X 'SARATOGA' / SARATOGA HYBRID LAUREL 20' TO 25' WIDTH X 40' HT.; STANDARD FORM	B & B	24" BOX	LOW
	3	UMBELLULARIA CALIFORNICA / BAY LAUREL 30' TO 35' WIDTH X 70' HT.	B & B	15 GAL	MEDIUM

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER	SPACING
	21	ANIGOZANTHOS FLAVIDUS / KANGAROO PAW FULL AND BUSHY; MATURE SIZE = 4' X 3.5'	1 GAL.	LOW	42" o.c.
	65	BULBINE FRUTESCENS / STALKED BULBINE FULL AND BUSHY; MATURE SIZE = 2' X 2'	1 GAL.	LOW	24" o.c.
	3	CALLISTEMON VIMINALIS 'LITTLE JOHN' / LITTLE JOHN WEeping BOTTLEBRUSH FULL AND BUSHY; MATURE SIZE = 3' X 5'	1 GAL.	LOW	54" o.c.
	51	EUONYMUS JAPONICUS 'AURO-MARGINATUS' / GOLDEN EUONYMUS FULL AND BUSHY; MAINTAIN AT 36" HEIGHT	36" MIN. HT.		48" o.c.
	9	EURYOPS PECTINATUS 'MUNCHKIN' / MUNCHKIN GOLDEN SHRUB DAISY FULL AND BUSHY; MATURE SIZE = 3' X 4'	1 GAL.	LOW	48" o.c.
	20	NANDINA DOMESTICA 'MOON BAY' / MOON BAY HEAVENLY BAMBOO FULL AND BUSHY; MATURE SIZE = 4' X 4'	1 GAL.	LOW	36" o.c.
	110	NERIUM OLEANDER 'PETITE SALMON' / OLEANDER FULL AND BUSHY; MATURE SIZE = 4' X 4'	1 GAL.	LOW	48" o.c.
	17	RHAPHOLEPIS LIMBELLATA 'RUTRHAPHI' TM / SOUTHERN MOON YEDDA HAWTHORN FULL AND BUSHY; MATURE SIZE = 5' X 6'	1 GAL.	LOW	60" o.c.
	9	ROSA CALIFORNICA / CALIFORNIA WILD ROSE FULL AND BUSHY; MATURE SIZE = 4' X 4'	1 GAL.	LOW	54" o.c.
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT.	WATER	SPACING
	21	MUHLENBERGIA RIGENS / DEER GRASS FULL TOP GROWTH, WELL ROOTED, MATURE SIZE = 4' X 4'	1 GAL.	LOW	36" o.c.
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER	SPACING
	194	APTENIA CORDIFOLIA 'RED APPLE' / BABY SUNROSE FULL TOP GROWTH, WELL ROOTED, TRIANGULAR SPACING, HOLD BACK 16" FROM BORDERS, TREES, & SHRUBS	1 GAL.	LOW	24" o.c.
	550	MYOPORUM PARVIFOLIUM 'PINK' / PINK TRAILING MYOPORUM FULL TOP GROWTH, WELL ROOTED, TRIANGULAR SPACING, HOLD BACK 16" FROM BORDERS, TREES, & SHRUBS	1 GAL.	LOW	24" o.c.
	109	PELAGONIUM SIDDIES / KALWERBOSSIE GERANIUM FULL TOP GROWTH, WELL ROOTED, TRIANGULAR SPACING, HOLD BACK 8" FROM BORDERS, TREES, & SHRUBS	1 GAL.	LOW	18" o.c.

Linear Application of DeepRoot Tree Root Barriers at Time of Installing Concrete Sidewalks and Curbs

TYPICAL SECTION OF CURB AND GUTTER WITH DEEPROOT TREE ROOT BARRIER INST INTO CONCRETE. BARRIER IS SET IN A TRENCH IN SUBGRADE WHICH IS THEN COMPACTED. BARRIER IS SET SO THAT TOP EDGE WILL BE 2" BELOW FINISH GRADE OF CURB AND SET FLUSH WITH EDGE OF CURB. BARRIER FACE TOWARD TREE ROOTS.

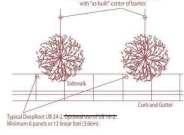
- INSTALLATION SEQUENCE:
1. Prepare base and subgrade.
 2. Trench to appropriate depth for installation of root barrier on the top of barrier is 2" (5cm) below finish grade of top of curb.
 3. Place root barrier in trench, vertical ribs must face toward tree roots.
 4. Backfill and compact to requirements.
 5. Place form material against barrier (it may be pulled from the outside of the form).



TYPICAL SECTION OF CURB, GUTTER AND SIDEWALK WITH DEEPROOT TREE ROOT BARRIER INST INTO CONCRETE. BARRIER IS SET IN A TRENCH IN SUBGRADE WHICH IS THEN COMPACTED. BARRIER IS SET SO THAT TOP EDGE WILL BE 2" BELOW FINISH GRADE OF CURB AND SET FLUSH WITH EDGE OF CURB. BARRIER FACE TOWARD TREE ROOTS.

- INSTALLATION SEQUENCE:
1. Prepare base and subgrade.
 2. Trench to appropriate depth for installation of root barrier on the top of barrier is 2" (5cm) below finish grade of top of sidewalk or halfway between top of compacted base and finish grade of (5cm) barrier face.
 3. Place root barrier in trench, vertical ribs must face toward tree roots.
 4. Backfill and compact to requirements.
 5. Place form material against barrier (it may be pulled from the outside of the form).

IMPORTANT NOTE: See location must align with 'back' center of trunk.



ROOT BARRIER - 24" DEPTH

NOT TO SCALE

PLANT SCHEDULE NOTES (ELK GROVE, CA)

1. PLANT WATER USE CLASSIFICATION IN THE PLANT SCHEDULE IS BASED ON SITE LOCATION IN WUCOLS ZONE 2.
2. ALL TREES SHALL BE FULL, WELL BRANCHED AND SYMMETRICAL.
3. TREE HEIGHTS AND WIDTHS (DIAMETERS) INDICATED IN THE PLANT SCHEDULE ARE BASED ON THE SACRAMENTO COUNTY 'LANDSCAPE TREE LIST'.
4. ALL CONIFERS AND SINGLE TRUNK DECIDUOUS TREES SHALL HAVE STRONG, STRAIGHT, UNCUT CENTRAL LEADER.
5. PARKING LOT TREES AND TREES OF SAME SPECIES THAT ARE GROUPED TOGETHER SHALL BE MATCHED SPECIMENS.
6. PRESERVE AND PROTECT ALL EXISTING TREES TO REMAIN PER CITY OF ELK GROVE TREE PROTECTION STANDARDS. SEE NOTES ON PL-4.
7. STAKE AND GUY ALL TREES FOR ONE GROWING SEASON.
8. REMOVE ALL WEEDS FROM PLANT ROOT BALLS AND CONTAINERS PRIOR TO PLANTING.
9. ALL SHRUBS SHALL BE WELL ROOTED, SYMMETRICAL, FULL AND BUSHY. SHRUBS IN MORE THAN ONE ROW SHALL BE PLANTED WITH TRIANGULAR SPACING AS SHOWN. SEE DETAILS ON PL-4.
10. ALL PLANTS SHALL BE NURSERY GROWN, NOT COLLECTED.
11. ALL SOILS SHALL BE AMENDED PER CITY OF ELK GROVE REQUIREMENTS AND NOTES ON PL-4. CONFORM TO STRICTEST REQUIREMENTS.
12. APPLY MINIMUM 3" DEPTH OF STONE MULCH TO THE SURFACES OF ALL SHRUB AND GROUNDCOVER BEDS. SEE LANDSCAPE LEGEND ON SHEET PL-1.
13. ALL PROPOSED PLANT MATERIAL SHALL BE IRRIGATED WITH A WATER-WISE, AUTOMATIC IRRIGATION SYSTEM.
14. MAINTAIN ALL PROPOSED PLANT MATERIAL IN A HEALTHY CONDITION THROUGH THE ONE YEAR GUARANTEE PERIOD. REPLACE UNHEALTHY AND DEAD PLANTS AS SOON AS HEALTHY SPECIMENS THAT MEET THE SPECIFICATIONS IN THESE CONTRACT DOCUMENTS ARE AVAILABLE.

Preliminary Not For Construction



BP WEST COAST PRODUCTS, LLC



Borghausen Consulting Engineers, Inc.
1825 72nd Avenue South
Kent, WA 98032
425.251.6292
borghausen.com

NO.	DATE	REVISION DESCRIPTION
1	7.26.23	REVISED PER COMMENTS
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Not for Construction

DEVELOPMENT INFORMATION:
ARCO NTI
3400 am/pm
FUEL CANOPY w/ 8 MPD's
24x48 CAR WASH

SITE ADDRESS:
CALVINE ROAD
ELK GROVE, CALIFORNIA
FACILITY # TBD

DESIGNED BY	LRP	ALLEN	ZANE
CHECKED BY	JMM	BP	RENE
DRAWN BY	LRP	ALLEN	PIE
VERSION		PROJECT NO.	22223

DRAWING TITLE:
PRELIMINARY NOTES & DETAILS (LANDSCAPE)

SHEET NO.:

PL-3

FILE: P:\2020\09\22223\preliminary\22223-PL_3.dwg Date/Time: 7/20/2023, 12:45 PM Sheet: 1 of 1 JMBLEY WVF



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LANDSCAPE PLANTING NOTES AND MATERIALS

SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH THE TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 30-DAY MAINTENANCE.

QUALIFICATIONS: LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS: IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION: DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. FOR IRRIGATION SYSTEMS TO BE INSTALLED, DO NOT PLANT UNTIL THE SYSTEM HAS BEEN TESTED AND APPROVED. HANDLE PLANTS WITH CARE TO NOT DAMAGE. AS BROKEN ROOT SYSTEM, BARK, OR BRANCHES, REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK. OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT AN ADDITIONAL COST.

GUARANTEE: GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

30-DAY MAINTENANCE: CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 30 DAYS FOLLOWING COMPLETION OF PROJECT (ACCEPTANCE) OF FACILITY BY OWNER. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

PLANT MATERIALS:

PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AMN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-1999). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B" & "B" INDICATES BALLED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "CAL" INDICATES CALIPER AT 1" ABOVE SOIL LINE; "CAL" INDICATES GALLON.

- SPECIFIED PLANT DUMPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.
- PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION. PLANTS TO BE FULLY LUSH, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFOLIATIONS OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY; HAVE MULTIPLE LEADERS OR 7+ BRANCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED. CONTAINER NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- SUBSTITUTION: NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED.

SOIL PREPARATION: ARE SPECIFIC TO THIS SITE. THE FOLLOWING: TOPSOIL, AMENDMENT, AND BACKFILL ARE REQUIREMENTS FOR ALL LANDSCAPE AREAS.

- TOPSOIL:** AS A MINIMUM SUPPLY TOPSOIL CONSISTING OF LOAM SOIL WITH 5 TO 7 PERCENT ORGANIC MATTER. TOPSOIL TO BE AMENDED WITH SPECIFIC AMENDMENTS IN C1), 2), 3), AND 4), BELOW, AND BE BLENDED TO SPECIFIED DEPTH IN E), BELOW. LOAM TO CORRESPOND TO FIELD METHOD OF DETERMINING SOIL TEXTURE CLASSES FOR LOAM AND SILT LOAM, U.S. SOIL CONSERVATION SERVICE. PROVIDE LANDSCAPE ARCHITECT THE TOPSOIL SUPPLIER AND SAMPLE TO TOPSOIL. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF-SITE SOURCES.
- NATIVE SURFACE SOIL INCLUDING STOCKPILED TOPSOIL:** SURFACE SOIL ON-SITE MAY MEET TEXTURE CLASSIFICATION AS NOTED IN A), ABOVE. AMENDMENTS TO SPECIFIED DEPTH.
- AMENDMENT:**
 - TOPSOIL FOR PLANTING SHALL CONTAIN A MINIMUM OF 10 PERCENT ORGANIC MATERIAL BY VOLUME.
 - ORGANIC COMPOST USE BULK NITROGEN FORTIFIED GROUND FIR BARK SHALL SATISFY ORGANIC REQUIREMENTS; COMPOST SHALL BE FROM NON-FARM ANIMAL SOURCES, NOR FROM SOURCES CONTAINING REDWOOD/ CEDAR PRODUCTS.
 - FERTILIZER INSTALLATION FERTILIZER SHALL BE 10-20-10. MAINTENANCE FERTILIZER SHALL BE 21-0-0. AGRIFORM TABLETS SHALL BE 21 AND 9 GRAM SIZE, 20-10-5 BY AGRIFORM INTERNATIONAL, CHEMICALS, INC. OR EQUIVALENT.
- SOIL AMENDMENTS**

SOIL SULFUR	5 POUNDS PER 1,000 SF
GYPHSUM	25 POUNDS PER 1,000 SF
FERTILIZER (10-20-10)	10 POUNDS PER 1,000 SF
MANGANESE SULFATE	8 OUNCES PER 1,000 SF
ORGANIC COMPOST (2" LAYER)	6 CUBIC YARDS PER 1,000 SF
NITROFORM (18-0-0)	18 POUNDS PER 1,000 SF

NOTE: IN ORDER TO MORE UNIFORMLY APPLY THE SMALL AMOUNT OF MANGANESE SULFATE REQUIRED, IT SHOULD BE DISSOLVED IN AN APPROPRIATE AMOUNT OF WATER AND SPRAYED TO THE SOIL SURFACE PRIOR TO THE ROTILLING PROCEDURE.
- PLANTING BACKFILL**

BACKFILL MIX FOR TREES, SHRUBS, AND GROUNDCOVERS SHALL BE PREMIXED AND CONSIST OF:	
SITE SOIL	0.8 CUBIC YARDS
ORGANIC AMENDMENT	0.2 CUBIC YARDS
FERTILIZER 38-0-0	1.0 POUND
CALCIUM CARBONATE LIMESTONE	
- SLOW RELEASE FERTILIZER TABLETS:**

CONTAINER SIZE	# OF TABLETS
1 G GALLON	3
5 G GALLON	3
15 GALLON	12
24" BOX	32

E) SOIL ANALYSIS

SOIL ANALYSIS TO BE PROCURED BY LANDSCAPE CONTRACTOR PRIOR TO BEGINNING ANY WORK AT THE SITE

- CONTRACTOR SHALL SUBMIT SOIL SAMPLES TO THE LABORATORY FOR ANALYSIS AND RECOMMENDATIONS.
- SOIL SAMPLING SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS.
- SOIL ANALYSIS MAY INCLUDE:
 - a. SOIL TEXTURE;
 - b. INFILTRATION RATE DETERMINED BY LABORATORY TEST OR SOIL INFILTRATION RATE TABLE;
 - c. pH;
 - d. TOTAL SOLUBLE SALTS;
 - e. SODIUM;
 - f. PERCENT ORGANIC MATTERS; AND
 - g. RECOMMENDATIONS.
- CONTRACTOR SHALL SUBMIT THE SOIL ANALYSIS REPORT TO THE CITY AS PART OF THE CERTIFICATE OF COMPLETION.
- THE CONTRACTOR SHALL SUBMIT DOCUMENTATION TO THE CITY VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE CITY WITH CERTIFICATE OF COMPLETION.

F) SOIL PREPARATION: REMOVE FROM SITE ALL WEEDS AND DEBRIS WITHIN THE PROPOSED LANDSCAPE AREAS. VERTICALLY SUB-GRADES AT -3" INCHES BELOW FINISH ELEVATION IN ALL SHRUB AND GROUNDCOVER AREAS. DO NOT WORK SOIL WHEN MOISTURE CONTENT IS SO GREAT THAT EXCESS COMPACTION WILL OCCUR WHEN IT IS SO DRY THAT DUST WILL FORM IN THE AIR OR THAT CLODS WILL NOT BREAK EASILY. APPLY WATER IF NECESSARY TO PROVIDE IDEAL MOISTURE CONTENT FOR FILLING AND FOR PLANTING AS SPECIFIED. THOROUGHLY SCRAPE AND RIP ALL LANDSCAPE GRADERS WHICH HAVE SOILS COMPACTED TO A DEPTH OF 12 INCHES WITH MULTIPLE PASSES, 90 DEGREES TO EACH OTHER. SCRAPE AREAS INACCESSIBLE TO MECHANIZED EQUIPMENT WITH HAND TOOLS.

REMOVE ALL SURFACE LUMPS, ROCKS, VEGETATION AND/OR DEBRIS LARGER THAN 1/4 INCH FROM ALL GRASSES PRIOR TO ANY SOIL PREPARATION. THOROUGHLY ROTOTILL ALL LANDSCAPE AREAS TO A DEPTH OF 6 INCHES. PLACE NATIONAL AMENDED SOIL AS REQUIRED TO MEET FINISH ELEVATIONS. APPLY SOIL PREPARATION MATERIALS TO ALL PLANTING AREAS AND THOROUGHLY INCORPORATE INTO INTO THE TOP 6 INCHES OF SOIL.

NET SOIL THOROUGHLY AND ALLOW TO SETTLE. REPEAT THIS COMPACTING PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO PERMIT AERATION AND DRAINAGE FOR PLANT MATERIAL. FINISH GRADE ALL PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE DRAINING AWAY FROM BUILDINGS AND READY FOR PLANTING. FINISH GRADE TO BE 3 INCHES BELOW FINISH SURFACE OF ADJACENT PAVEMENT IN SHRUB AND GROUNDCOVER AREAS. FINISH GRADES TO BE SPECIFIED BY THE LANDSCAPE ARCHITECT. FINISH GRADES TO BE PLACED ON PLANT MATERIAL. PARKING PLANTING ISLANDS SHALL BE OVER ELEVATED. REMOVE ALL PAVING WASTE, GRAVEL BASE AND ALL OTHER MATERIALS TO 18 INCHES BELOW TOP OF THE PAVING. SCRAPE AND/OR EXCAVATE PIT BOTTOM 12 INCHES TO MINIMIZE STRUCTURAL COMPACTION.

MULCH: ONE-QUARTER-INCH (1/4") TO ONE HALF-INCH (1/2") SIZE FINE TEXTURED NITROGEN BARK MULCH. SHREDDED WOOD WILL NOT BE ALLOWED.

STAKES: 2-INCH DIAMETER, BY 10-FOOT MINIMUM TREATED LOGPOPEL PINE TREE STAKE.

CLY MATERIAL: ONCH TYPE. NO WIRE WILL BE ALLOWED.

HERBICIDE: HERBICIDE IS NOT RECOMMENDED FOR THE FIRST YEAR AFTER INSTALLATION.

ANTI-DESICCANT: APPLY TO TREES 48 HOURS PRIOR TO SHIPMENT TO SITE FROM JUNE 1 THROUGH SEPTEMBER. THOROUGHLY WATER PLANT MATERIAL PRIOR TO DELIVERY. PLANT MATERIAL DELIVERED TO SITE TO BE KEPT CONTINUALLY MOIST THROUGH INSTALLATION.

EXECUTION:

FINISH GRADES: FINE GRADE AND REMOVE ROCKS AND FOREIGN OBJECTS OVER TWO INCHES (2") DIAMETER FROM TOP THREE INCHES (3") OF PREPARED PLANTING BED. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. SITE CIL DRAWINGS IDENTIFY FINAL ELEVATIONS.

TREES: ARRANGE TREES ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR CALIPER, AS CALLED OUT AND DETAILED. ALL TREES AND SHRUBS TO STAND VERTICAL. TREES TO BE PLACED AS SHOWN ON THE PLANTING PLAN, LOCATED AS DETAILED AND AS CALLED OUT ON PLANT LIST. BACKFILL SHALL BE PIT SPILLS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTOR.

SHRUBS: INSTALL SHRUBS AS SPECIFIED FOR TREES.

GROUNDCOVERS: EXCAVATE PITS TO A MINIMUM OF THREE INCHES (3") BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

MULCH: MULCH ALL LANDSCAPE AREAS WITH A THREE INCH (3") LAYER OF MULCH AS NOTED ON DRAWINGS.

UTILITY CLEARANCES: FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

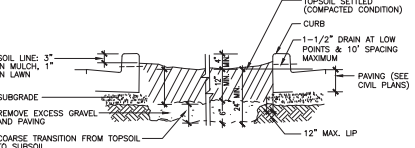
PLANTING MAINTENANCE: CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TOPPING AND PRUNING TREES AND SHRUBS, RESETTING PLANTS TO PROPER GRADES OR POSITION, AND RE-ESTABLISHING SETTING GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.

FERTILIZATION FOR GROUNDCOVER AREAS: UNIFORMLY BROADCAST SULFUR COATED UREA AT THE RATE OF FIVE (5) LBS. PER 1,000 SQUARE FEET. THE FIRST APPLICATION TO OCCUR THIRTY-FIVE (35) DAYS AFTER PLANTING. IN EARLY FALL AND SPRING. SUBSTITUTE A COMPLETE FERTILIZER SUCH AS 16-6-8 OR EQUAL FOR THE SULFUR COATED UREA AT THE RATE OF SIX (6) LBS. PER 1,000 SQUARE FEET. FOLLOW EACH FERTILIZATION WITH A THOROUGH IRRIGATION APPLICATION.

IRRIGATION MAINTENANCE: THE IRRIGATION SYSTEM TO BE MAINTAINED INCLUDING ADJUSTMENTS FOR BALANCED WATER DISTRIBUTION A PROPORTION. FAULTED OR MALFUNCTIONING IRRIGATION EQUIPMENT SHALL BE REPLACED OR CORRECTED. PLANT AND IRRIGATION MAINTENANCE TO INCLUDE THOSE OPERATIONS NECESSARY TO THE PROPER SURVIVAL AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR TO PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.

TREE PRESERVATION CONSTRUCTION NOTES - CITY OF ELK GROVE

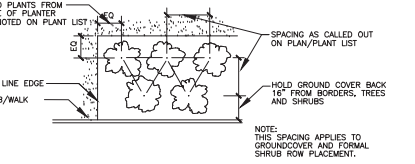
- A CIRCLE WITH A RADIUS MEASURED FROM THE TRUNK OF A TREE TO THE TIP OF ITS LONGEST LIMB SHALL CONSTITUTE THE DRIPLENE PROTECTION AREA OF ALL OAK TREES TO BE RETAINED AND ALL PORTIONS OF OFF-SITE OAK TREE DRIPLENES WHICH EXTEND INTO THE SITE, AND SHALL NOT BE CUT BACK IN ORDER TO CHANGE THE DRIPLENE REMOVING LIMBS WHICH MAKE UP THE DRIPLENE DOES NOT CHANGE THE PROTECTED ZONES.
- SOIL SINK OR APPROVED BARRIER SHALL BE INSTALLED ONE (1) FOOT OUTSIDE THE DRIPLENE PROTECTION AREA OF THE ON-SITE OAK TREES TO BE RETAINED AND AROUND ALL PORTIONS OF OFF-SITE OAK TREE DRIPLENES WHICH EXTEND INTO THE SITE, PRIOR TO INITIATING PROJECT CONSTRUCTION, IN ORDER TO AVOID DAMAGE TO THE TREES AND THEIR ROOT SYSTEMS. THE BARRIER AROUND THOSE OAK TREE DRIPLENES WHICH ARE APPROVED FOR ENCROACHMENT BY STRUCTURES AND/OR DRIVEWAYS CAN BE MOVED TO ALLOW CONSTRUCTION, THE NEW BARRIER LOCATIONS SHALL BE FOUR FEET OUTSIDE THE STRUCTURE WALL AND/OR DRIVEWAY LOCATION.
- A PIPED AERATION SYSTEM SHALL BE INSTALLED AT ALL LOCATIONS WHERE IMPROVISED SURFACES AND/OR STRUCTURAL DEVELOPMENT WILL OCCUR WITHIN THE DRIPLENE PROTECTION AREA OF THE ON-SITE OAK TREES TO BE RETAINED AND ALL PORTIONS OF THE OFF-SITE OAK TREE DRIPLENES WHICH EXTEND INTO THE SITE. INSTALLATION OF THE AERATION SYSTEM IS TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST. IF, IN THE OPINION OF THE CERTIFIED ARBORIST, ENCROACHMENT INTO THE DRIPLENE PROTECTION AREA IS SOVER, THEN THE AFFECTED TREE SHALL BE RETAINED ON SITE BUT DETERMINED LOSS, AND MITIGATION AS REQUIRED BY THE APPROVING BODY, SHALL BE IMPOSED.
- ALL DRIVEWAYS WHICH PASS THROUGH THE DRIPLENE PROTECTION AREA OF THE ON-SITE OAK TREES TO BE RETAINED AND ALL PORTIONS OF THE OFF-SITE OAK TREE DRIPLENES WHICH EXTEND INTO THE SITE SHALL BE CONSTRUCTED SUCH THAT THE ENTIRE DRIVEWAY SECTION IS PLACED DIRECTLY ABOVE EXISTING GRADE. NO EXCAVATION FOR DRIVEWAY CONSTRUCTION SHALL BE ALLOWED WITHIN OAK TREE DRIPLENE PROTECTION AREAS EXCEPT MINOR EXCAVATION ASSOCIATED WITH THE INSTALLATION OF PIPE AERATION SYSTEMS.
- ANY PRUNING OF AN OAK TREE SHALL BE SUPERVISED BY A CERTIFIED ARBORIST. STRUCTURAL DEFECT CROWN CLEANING, OR ARBORIST-RECOMMENDED PRUNING IS NECESSARY BY A CERTIFIED ARBORIST IN ORDER TO CORRECT A SAFETY HAZARD, THE PRUNING DUE TO CANOPY ENCROACHMENT BY BUILDINGS SHALL BE LIMITED TO THE MINIMUM AMOUNT NEEDED TO SAFELY ACCOMMODATE THE STRUCTURE. ALL PRUNING AND DEADWOOD REMOVAL SHALL BE EXECUTED IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 PRUNING STANDARDS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) TREE CARE MANUAL. ALL PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST SHALL SUPERVISE ALL TREE PRUNING.
- ALL TREE SITE IMPROVEMENTS, ANY PRUNING OF AN OAK TREE SHALL BE SUPERVISED BY A CERTIFIED ARBORIST.
- NO BRANCHES, ROBLES (OTHER THAN THOSE WHICH MAY BE RECOMMENDED BY A CERTIFIED ARBORIST TO PROVIDE LIMB SUPPORT) OR ANY OTHER ITEM SHALL BE ATTACHED TO THE ON-SITE OAK TREES TO BE RETAINED AND ALL PORTIONS OF OFF-SITE OAK TREE DRIPLENES WHICH EXTEND INTO THE SITE.
- NO VEHICLES, CONSTRUCTION EQUIPMENT, HOSES, TOOLS, SUPPLIES, MATERIALS, OR FACILITIES SHALL BE DRIVEN, PARKED, STOCKPILED, OR LOCATED WITHIN THE DRIPLENE AREAS OF ON-SITE OAK TREES TO BE RETAINED AND ALL PORTIONS OF THE OFF-SITE OAK TREE DRIPLENES WHICH EXTEND INTO THE SITE.
- NO GRADING (GRADE CUT OR FILL) SHALL BE ALLOWED WITHIN THE DRIPLENE PROTECTION AREAS OF ON-SITE OAK TREES TO BE RETAINED AND ALL PORTIONS OF THE OFF-SITE OAK TREE DRIPLENES WHICH EXTEND INTO THE SITE WITH THE EXCEPTION OF APPROVED ENCROACHMENT AREAS ON THE FINAL DEVELOPMENT PLANS. IF, IN THE OPINION OF THE CERTIFIED ARBORIST, PERMITTED GRADING IN THE DRIPLENE PROTECTION AREA IS SOVER, THEN THE AFFECTED TREE SHALL BE RETAINED ON-SITE BUT DETERMINED LOSS, AND MITIGATION AS REQUIRED BY THE APPROVING BODY SHALL BE IMPOSED.
- NO TRENCING SHALL BE ALLOWED WITHIN THE DRIPLENE PROTECTION AREA OF THE ON-SITE OAK TREES TO BE RETAINED AND ALL PORTIONS OF THE OFF-SITE OAK TREE DRIPLENES WHICH EXTEND INTO THE SITE. IT IS ABSOLUTELY NECESSARY TO INSTALL UNDERGROUND UTILITIES WITHIN THE DRIPLENE OF THE TREE. THE UTILITY LINE SHALL BE BORED OR DRILLED UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST.
- LANDSCAPING BENEATH THE ON-SITE OAK TREES TO BE RETAINED AND ALL PORTIONS OF OFF-SITE OAK TREE DRIPLENES WHICH EXTEND INTO THE SITE, SHALL BE PLANT MATERIALS SUCH AS RIVER GRAVEL, WOODCHIPS, ETC. THE ONLY PLANT SPECIES WHICH SHALL BE PLANTED WITHIN OAK TREE DRIPLENES ARE PLANTS WHICH ARE TOLERANT OF THE NATURAL SEMI-ARID ENVIRONMENT OF THE TREES. LIMITED DRIP IRRIGATION APPROXIMATELY MONTHLY DURING LATE SPRING, SUMMER, AND EARLY FALL IS RECOMMENDED FOR UNDERSTORY PLANTS.
- NO IN-GROUND SPRINKLER OR IRRIGATION SYSTEMS ARE ALLOWED TO BE INSTALLED IN SUCH A MANNER THAT IT IRRIGATES THE GROUND WITHIN THE DRIPLENE PROTECTION AREA OF THE ON-SITE OAK TREES TO BE RETAINED AND ALL PORTIONS OF THE OFF-SITE OAK TREE DRIPLENES WHICH EXTEND INTO THE SITE. AN ABOVE-GROUND DRIP IRRIGATION SYSTEM, DRIPLENES PLACED ON NATURAL GRADE WITH ALL EMITTERS PLACED ON GRADE, WILL BE PERMITTED UNDER OAK TREE DRIPLENES. NO TRENCING FOR IRRIGATION LINES WILL BE PERMITTED UNDER DRIPLENE PROTECTION AREAS.
- INCLUDE ALL THE ABOVE MEASURES VERBATIM AS CONSTRUCTION NOTES ON ANY/ALL PRELIMINARY OR FINAL GRADING PLANS, IMPROVEMENT PLANS, AND BUILDING/DEVELOPMENT PLANS WHICH ARE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS AND/OR FIRE PREVENTION DEPARTMENT FOR EACH PROJECT, AS WELL AS ANY/ALL REVISIONS TO PLANS WHICH ARE SUBSEQUENTLY SUBMITTED.
- BEFORE INSTALLATION OF NEW ASPHALT, WEED CONTROL CHEMICALS SHALL NOT BE APPLIED WHERE THEY CAN REACH INTO THE DRIPLENE OF ANY PROTECTED TREES.
- DURING CONSTRUCTION, THE FREQUENCY AND AMOUNT OF WATER FOR PROTECTED TREES SHALL NOT DIFFER FROM THAT RECEIVED PRIOR TO CONSTRUCTION.



NOTE: OVER EXCAVATE PARKING LOT PLANTERS TO LOOSEN COMPACTED SUBBASE.

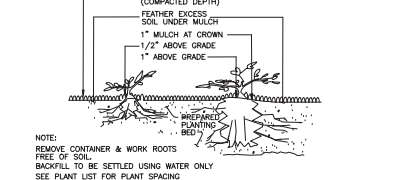
GRADING & PARKING LOT PLANTERS DETAIL

NOT TO SCALE



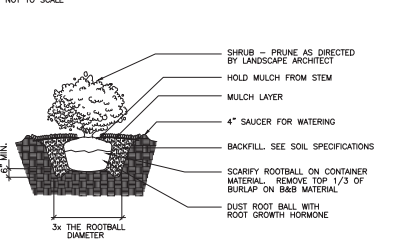
GROUND COVER SPACING DETAIL

NOT TO SCALE



GROUND COVER PLANTING DETAIL

NOT TO SCALE



NOTE: APPLY ADDITIONAL 4 OZ. 8-32-16 FERTILIZER INTO TOP 2" OF PLANTING MULCH.

PLANT SHRUB HIGH ENOUGH TO ALLOW POSITIVE DRAINAGE AWAY FROM ROOTBALL. ROUGHEN ALL SURFACES OF PIT.

TREE PLANTING/STAKING DETAIL

NOT TO SCALE

SHRUB PLANTING DETAIL

NOT TO SCALE

CLIENT:



WEST COAST PRODUCTS, LLC



Barthelme Consulting Engineers, Inc.
1625 72nd Avenue South
Kent, WA 98032
252.514.2222
barthelme.com

NO.	DATE	REVISION DESCRIPTION
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Not for Construction

DEVELOPMENT PERMITS:

ARCO NTI
3400 am/pm
FUEL CANYON w/ 9 MPD's
24x48" CAR WASH

SITE ADDRESS:

CALVINE ROAD
ELK GROVE, CALIFORNIA

FACILITY #TBD

DESIGNED BY:

LRRP
ALLENNE ZANE

DRAWN BY:

LRRP
ALLENNE ZANE

VERSION:

PROJECT
22223

DRAWING TITLE:

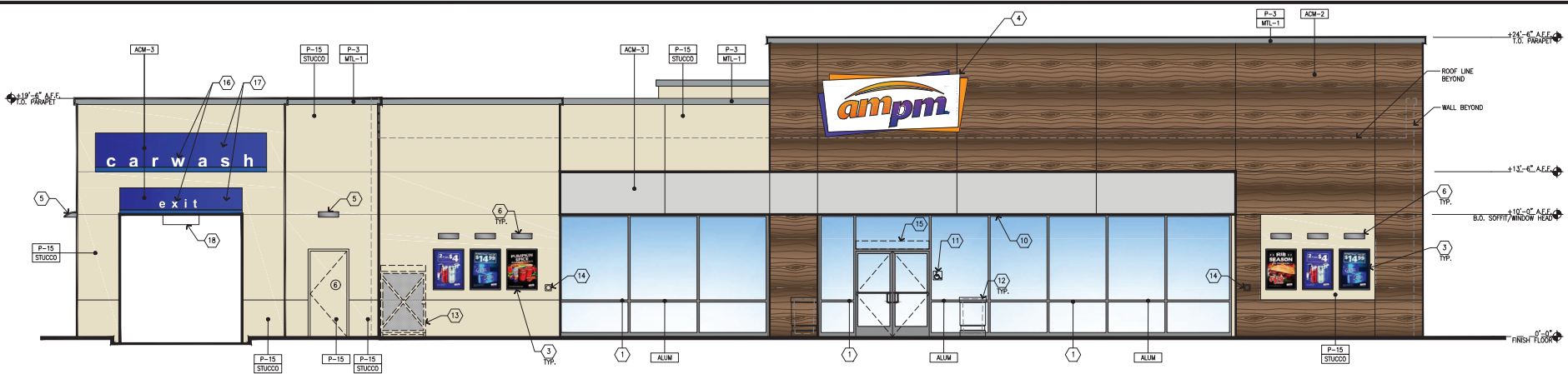
PRELIMINARY NOTES & DETAILS (LANDSCAPE)

SHEET NO.:

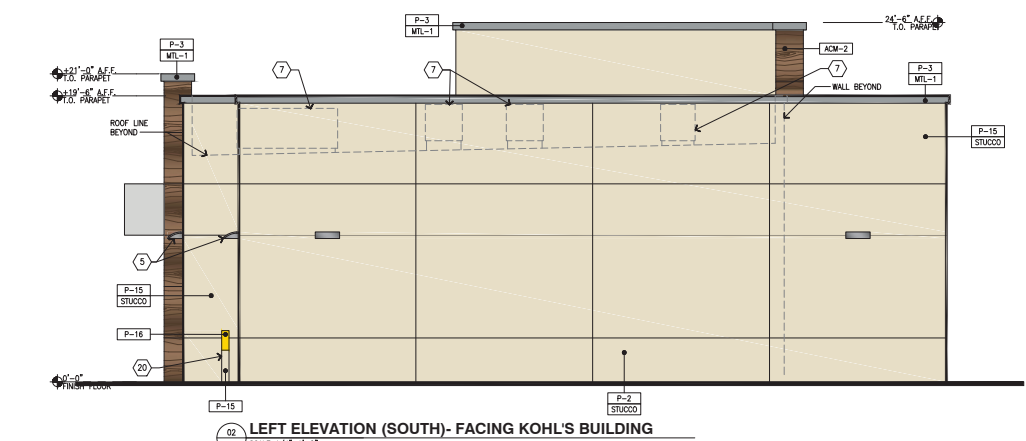
Preliminary Notes For Construction

PL-4

FILED: \\C:\Users\j22223\My Documents\22223-01_00.dwg Date: 7/17/2023 12:45 PM Scale: 1" = 1'



01 FRONT ELEVATION (EAST)- FACING DEVELOPMENT
SCALE: 1/4"=1'-0"



02 LEFT ELEVATION (SOUTH)- FACING KOHL'S BUILDING
SCALE: 1/4"=1'-0"

GENERAL NOTES

A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYED NOTES

- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET AS.1 FOR SPECIFICATION
- 2 OVERFLOW DRAIN
- 3 WALL POSTER
- 4 LARGE INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- 5 WALL MOUNTED LED FIXTURE
- 6 WALL MOUNTED SIGN LIGHTING
- 7 ROOFTOP EQUIPMENT BEYOND
- 8 MAIN SWITCHGEAR
- 9 CO2 FILL/VENT BOX, VERIFY LOCATION PRIOR TO INSTALLATION
- 10 SOFFIT LIGHTING
- 11 6"x4" MIN. ISA SIGN AT ACCESSIBLE ENTRANCES MOUNTED 60" A.F.F. TO CENTERLINE
- 12 EXPOSED AGGREGATE ROUND CONCRETE TRASH RECEPTACLE, REFER TO SHEET Q2.1 FOR SPECIFICATION
- 13 PORTABLE PROPANE TANK DISPLAY, REFER TO SHEET Q2.1 FOR SPECIFICATION
- 14 EMERGENCY SHUT OFF SWITCH, VERIFY LOCATION PRIOR TO INSTALLATION, REFER TO ELECTRICAL SHEETS FOR SPECIFICATIONS
- 15 AIR CURTAIN BEYOND, REFER TO SHEET A2.3 AND MECHANICAL PLANS
- 16 VINYL LETTERS APPLIED TO ACM
- 17 VINYL DECAL APPLIED TO ACM
- 18 "NO ENTRY" SIGN
- 19 OVERHEAD CLEARANCE BAR
- 20 CONCRETE FILLED BOLLARD
- 21 INSTRUCTIONAL SIGN PANEL

COLOR LEGEND

- P-3 BENJAMIN MOORE, 2121-30 "PENTON", HIGH GLOSS FINISH
- P-15 BP PEARL - BENJAMIN MOORE, OC-8, "ELEPHANT TUSK"
- P-16 BP YELLOW - BENJAMIN MOORE, 2022-10, "YELLOW"
- ACM-1 ALUMINUM COMPOSITE MATERIAL, PANTONE PMS 166c, "ORANGE"
- ACM-2 ALUMINUM COMPOSITE MATERIAL, ALUCOBOND, "RUSTIC WALNUT"
- ACM-3 ALUMINUM COMPOSITE MATERIAL, ALUCOBOND, "SILVER METALLIC"

- STUCCO 3/4" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ALUM CLEAR ANODIZED ALUMINUM
- STL-1 STEEL AWNING
- ACM-3 ALUMINUM COMPOSITE MATERIAL
- MTL-1 PRE-FINISHED 24 GA METAL

CLIENT:




BP WEST COAST PRODUCTS, LLC



Berghausen Consulting Engineers, Inc.
10215 72nd Avenue South
Kent, WA 98032
253.851.6222
berghausen.com

NO.	DATE	REVISION DESCRIPTION
1	04/06/23	DESIGN REVIEW SUBMITAL
2	08/24/23	DESIGN REVIEW REVISIONAL
3	11/17/23	DESIGN REVIEW REVISIONAL
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Not for Construction

DEVELOPMENT INFORMATION:
ARCO NTI
3400 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

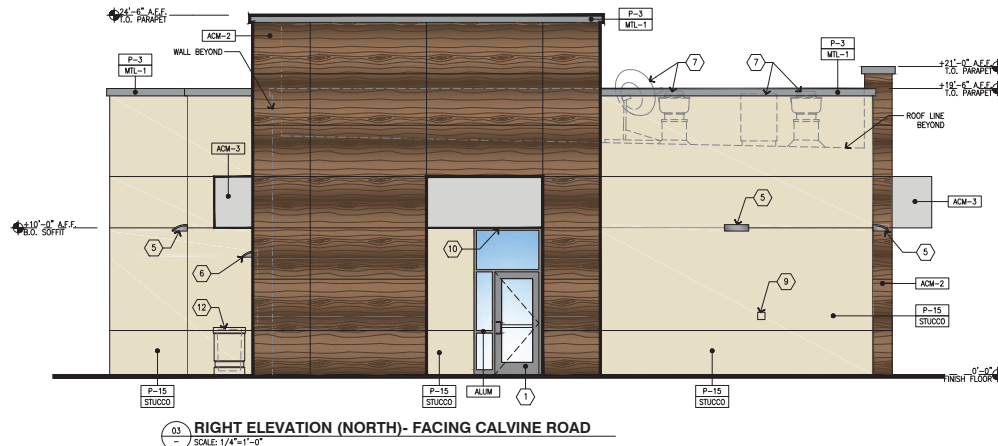
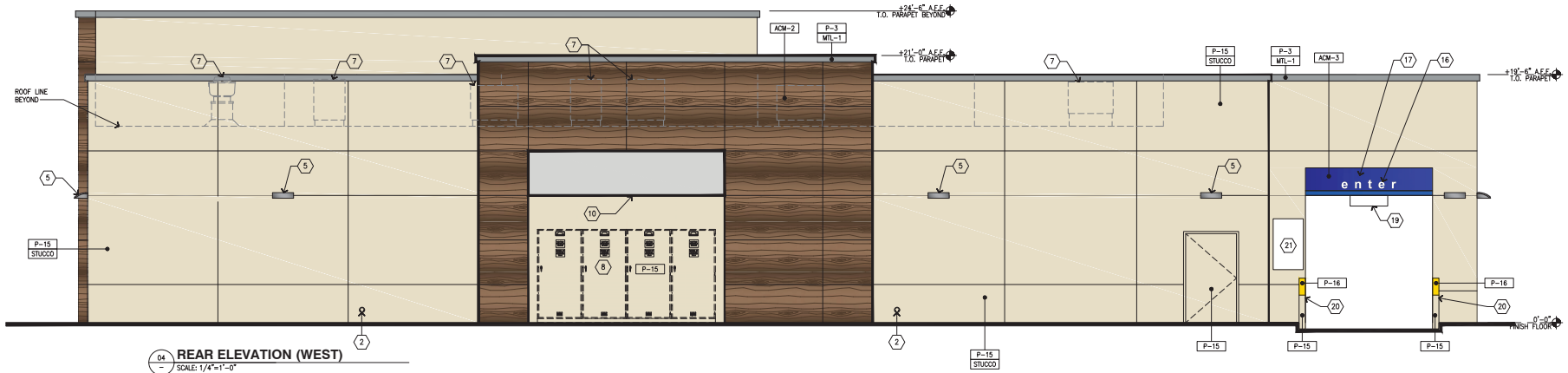
SITE ADDRESS:
CALVINE ROAD
ELK GROVE, CALIFORNIA

FACILITY # TBD

DESIGNED BY:	ALLIANCE ZONE
CHECKED BY:	BP REPR
DRAWN BY:	ALLIANCE PRG
VERSION:	PROJECT NO: 22223

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A2.1



GENERAL NOTES

A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYED NOTES

- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET AS.1 FOR SPECIFICATION
- 2 OVERFLOW DRAIN
- 3 WALL POSTER
- 4 LARGE INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- 5 WALL MOUNTED LED FIXTURE
- 6 WALL MOUNTED SIGN LIGHTING
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- 8 MAIN SWITCHGEAR
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- 15 AIR CURTAIN BEYOND, REFER TO SHEET A2.3 AND MECHANICAL PLANS
- 16 VINYL DECAL APPLIED TO ACM
- 17 VINYL DECAL APPLIED TO ACM
- 18 "NO ENTRY" SIGN
- 19 OVERHEAD CLEARANCE BAR
- 20 CONCRETE FILLED BOLLARD
- 21 INSTRUCTIONAL SIGN PANEL

COLOR LEGEND

- P-3 BENJAMIN MOORE, 2121-30 "PETER", HIGH GLOSS FINISH
- P-15 BP PEARL - BENJAMIN MOORE, OC-8, "ELEPHANT TUSK"
- P-16 BP YELLOW - BENJAMIN MOORE, 2022-10, "YELLOW"

MATERIAL LEGEND

- ACM-1 ALUMINUM COMPOSITE MATERIAL, PANTONE PMS 166c, "ORANGE"
- ACM-2 ALUMINUM COMPOSITE MATERIAL, ALUCOBOND, "RUSTIC WALNUT"
- ACM-3 ALUMINUM COMPOSITE MATERIAL, ALUCOBOND, "SILVER METALLIC"
- STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS, TEXTURE: FINE SAND FINISH
- ALUM CLEAR ANODIZED ALUMINUM
- STL-1 STEEL AWNING
- ACM-3 ALUMINUM COMPOSITE MATERIAL
- MTL-1 PRE-FINISHED 24 GA METAL

CLIENT:




BP WEST COAST PRODUCTS, LLC



Berghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
253.861.6292
berghausen.com

NO.	DATE	REVISION DESCRIPTION
1	04/09/23	DESIGN REVISION SUBMITTAL
2	08/24/23	DESIGN REVISION RESUBMITTAL
3	11/17/23	DESIGN REVISION RESUBMITTAL

Not for Construction

DEVELOPMENT INFORMATION:

ARCO NTI
3400 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
CALVINE ROAD
ELK GROVE, CALIFORNIA

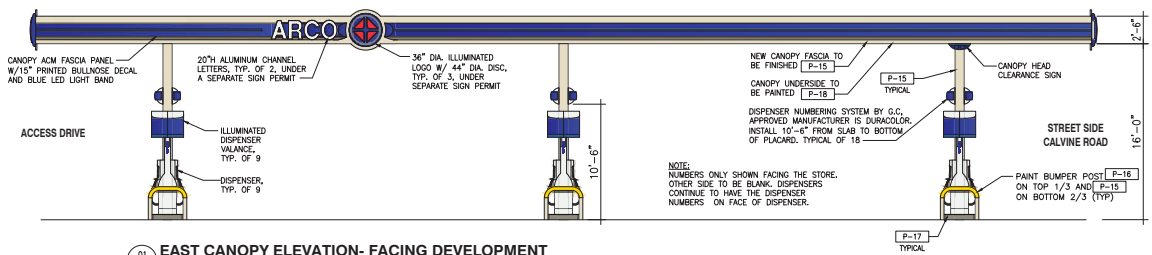
FACILITY # TBD

DESIGNED BY:	ALLIANCE ENGINEERING
CHECKED BY:	BP REPRESENTATIVE
DRAWN BY:	ALLIANCE ENGINEERING
VERSION:	PROJECT NO.: 22223

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.:

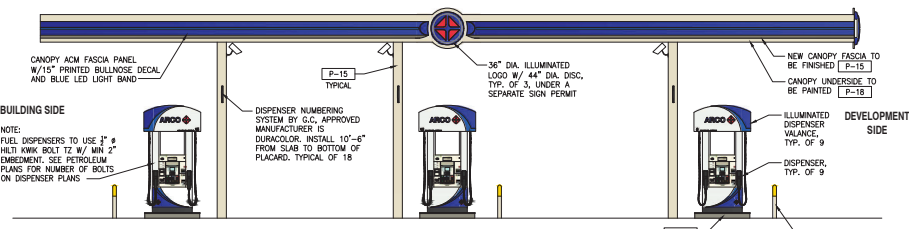
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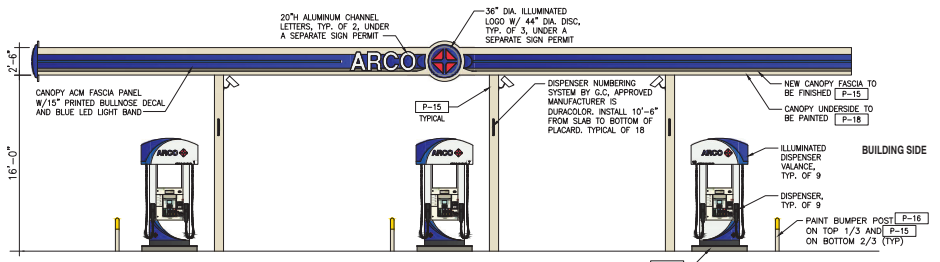
01 EAST CANOPY ELEVATION- FACING DEVELOPMENT
SCALE: 3/16"=1'-0"

COLOR LEGEND

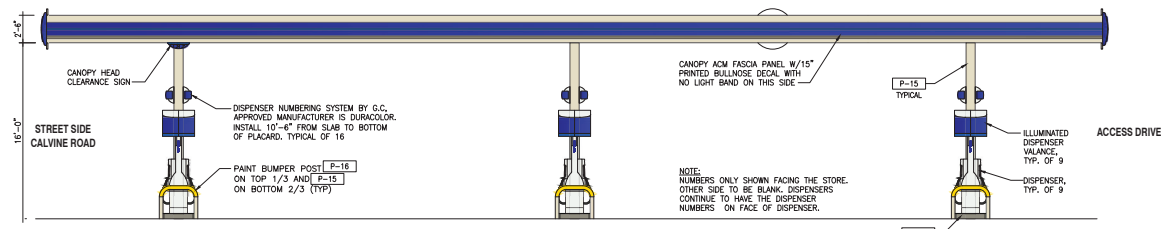
[P-15]	BP PEARL -BENJAMIN MOORE, OC-8, "ELEPHANT TUSK" -SHERWIN WILLIAMS, SW610, "ANTIQUE WHITE" -ICI PAINTS, #A038- 38Y 72/17, "INDIAN LEGEND"
[P-16]	BP YELLOW -BENJAMIN MOORE, 2022-10, "YELLOW" -SHERWIN WILLIAMS, SW6903, "CHEERFUL" -ICI PAINTS, #A0775- 37Y 61/867, "OMEGA YELLOW"
[P-17]	BP WARM GRAY -BENJAMIN MOORE, 2137-40, "DESERT TWILIGHT" -SHERWIN WILLIAMS, SW7003, "MIDNIGHT SHADE" -ICI PAINTS, #A1860- 40Y 25/074, "GRAY MOUNTAIN"
[P-18]	HIGH HIDING WHITE -BENJAMIN MOORE, OC-67, "ICE MIST" -SHERWIN WILLIAMS, SW7006, "EXTRA WHITE" -ICI PAINTS, #A0129- 50Y 83/010, "WHITE WING"



02 SOUTH CANOPY ELEVATION- FACING KOHL'S BUILDING
SCALE: 3/16"=1'-0"



03 NORTH CANOPY ELEVATION- FACING CALVINE ROAD
SCALE: 3/16"=1'-0"



04 WEST CANOPY ELEVATION- FACING C-STORE
SCALE: 3/16"=1'-0"

CLIENT:

BP WEST COAST PRODUCTS, LLC

Burghausen Consulting Engineers, Inc.
1825 72nd Avenue South
Kent, WA 98032
425.516.2222
burghausen.com

NO.	DATE	REVISION DESCRIPTION
1	04/04/23	DESIGN REVIEW SUBMITTAL
2	04/24/23	DESIGN REVIEW RESUBMITTAL
3	11/17/23	DESIGN REVIEW RESUBMITTAL
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Not for Construction

DEVELOPMENT INFORMATION:

ARCO NTI
3400 am/pm
FUEL CANOPY w/ 9 MPD's
24x48 CAR WASH

SITE ADDRESS:
CALVINE ROAD
ELK GROVE, CALIFORNIA

FACILITY #TBD

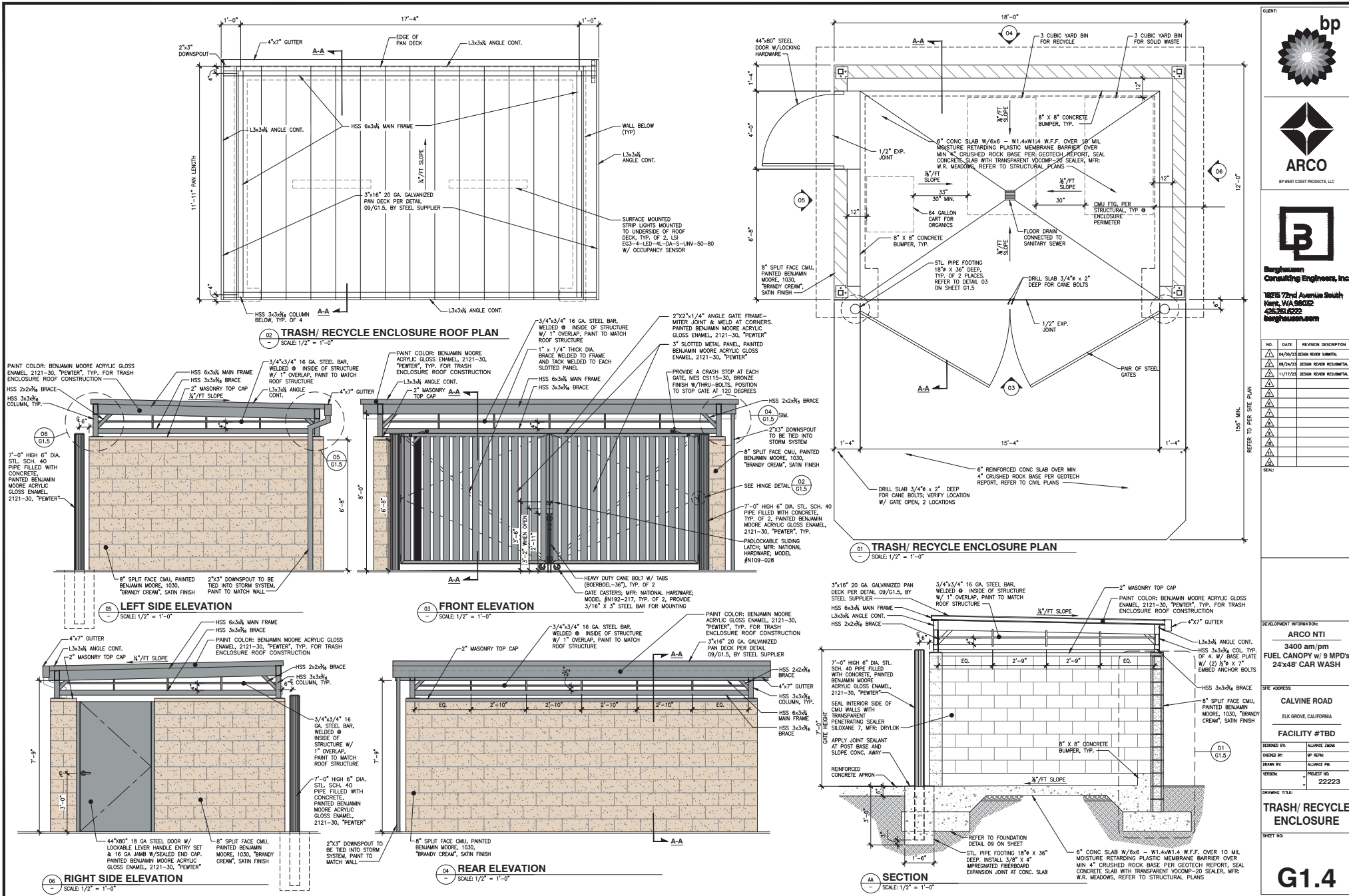
DESIGNED BY: ALLIANCE ENGINEERING
CHECKED BY: BP REPRESENTATIVE
DRAWN BY: ALLIANCE ENGINEERING
VERSION: PROJECT NO. 22223

DRAWING TITLE:
CANOPY ELEVATIONS

SHEET NO.:

SIGNAGE NOTE:
ALL SIGNAGE SHOWN IS FOR VISUAL REFERENCE ONLY-SIGN PERMIT UNDER SEPARATE PERMIT

CA2.1



CLIENT:

BP WEST COAST PRODUCTS, LLC

Borghausen Consulting Engineers, Inc.
 1825 72nd Avenue South
 Kent, WA 98032
 (206) 851-6222
 borghausen.com

NO.	DATE	REVISION DESCRIPTION
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DEVELOPMENT PERMIT NO: **ARCO NTI**

3400 am/pm
FUEL CANOPY w/ 9 MPD's
24x48' CAR WASH

SITE ADDRESS: **CALVINE ROAD**
 ELK GROVE CALIFORNIA

FACILITY # **TBD**

DESIGNED BY: **ALLIANCE ZONE**

CHECKED BY: **BP REPM**

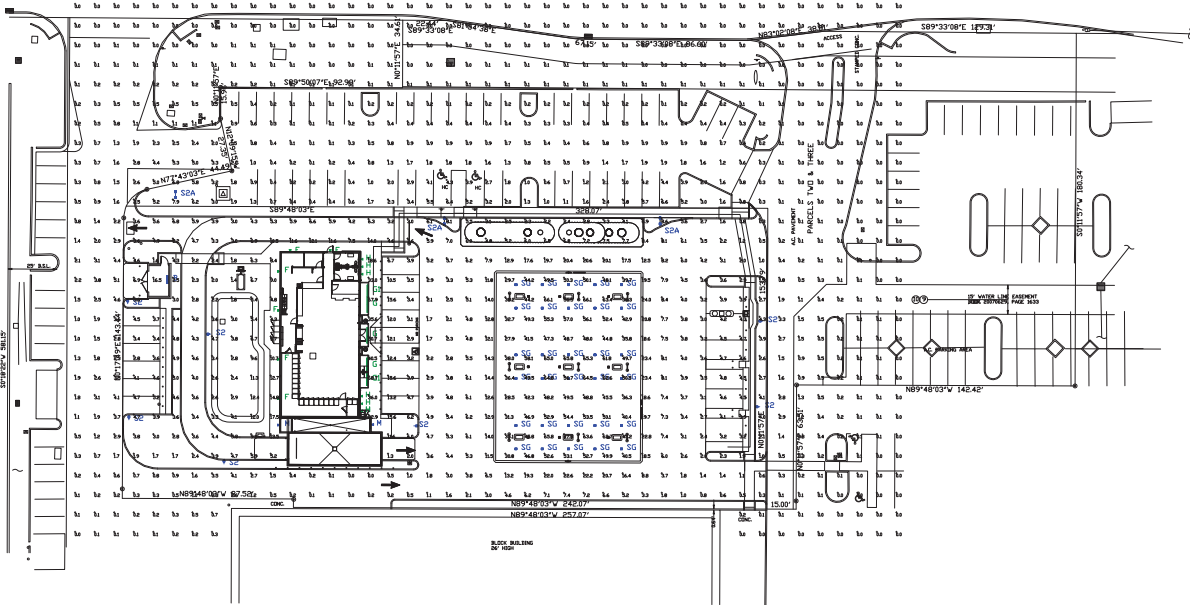
DRAWN BY: **ALLIANCE PER**

VERSION: **PROJECT NO:** 22223

DRAWING TITLE: **TRASH/ RECYCLE ENCLOSURE**

SHEET NO:

G1.4



Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
	1	B	Single	EG3-4-LED-06L-DA-S-50-80	5'	1.000	1.000	6695	48
	6	F	SINGLE	XWM-3-LED-06L-50	10'	1.000	1.000	6689	47
	3	G	SINGLE	RWM-8-LED-13-LF-50	10'	1.000	1.000	10568	96.06
	2	G1	SINGLE	RWM-6-LED-13-LF-50	10'	1.000	1.000	7925	72.045
	7	H	SINGLE	XWM-2-LED-03L-50	10'	1.000	1.000	3313	23
	2	M	SINGLE	XWM-FT-LED-06L-50	10'	1.000	1.000	6557	47
	7	S2	SINGLE	SLM-LED-09L-SIL-FT-50-70CRI-SINGLE	16'/PILE+2'BASE	1.000	1.000	9657	63
	3	S2A	D180	SLM-LED-09L-SIL-FT-50-70CRI-D180	16'/PILE+2'BASE	1.000	1.000	19314	126
	30	SG	SINGLE	SCV-LED-ISL-SC-50	15'	1.000	1.000	14963	102

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	5.76	68.7	0.0	NA	NA
CANDY	Illuminance	Fc	45.54	66.1	18.5	2.46	3.57
INSIDE CURB	Illuminance	Fc	5.97	22.6	0.3	19.90	75.33

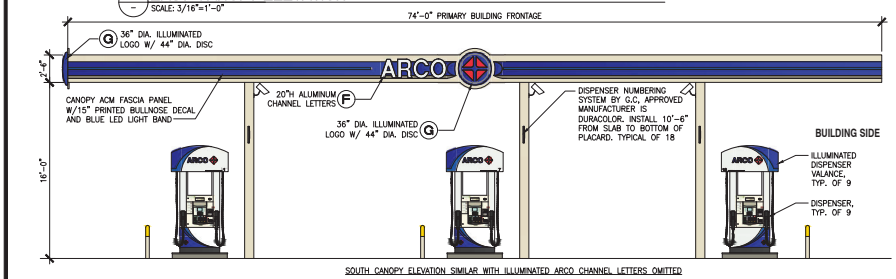
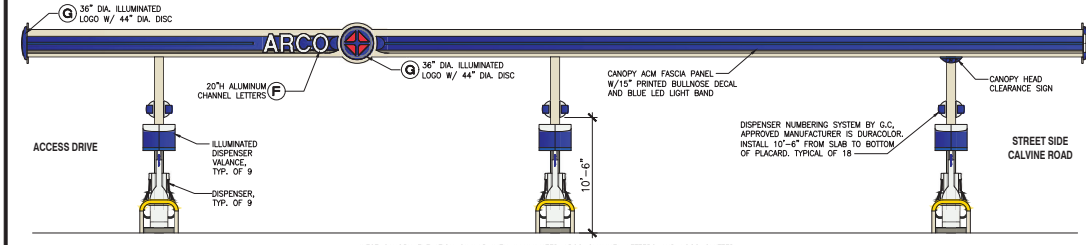
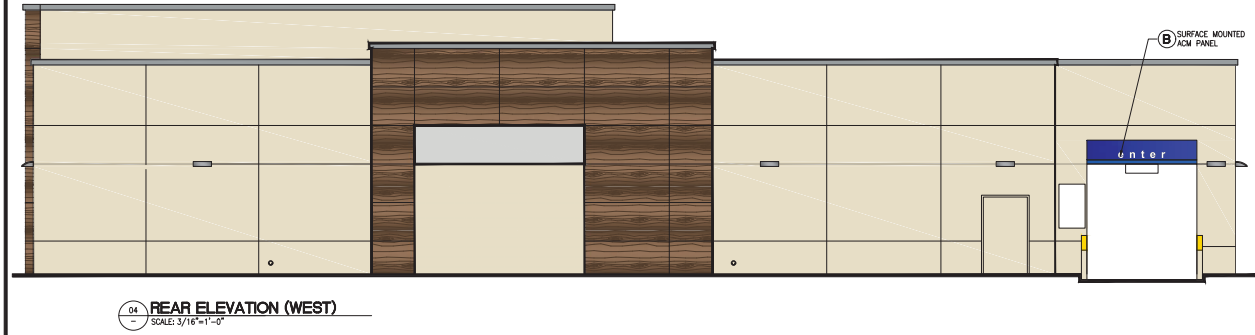
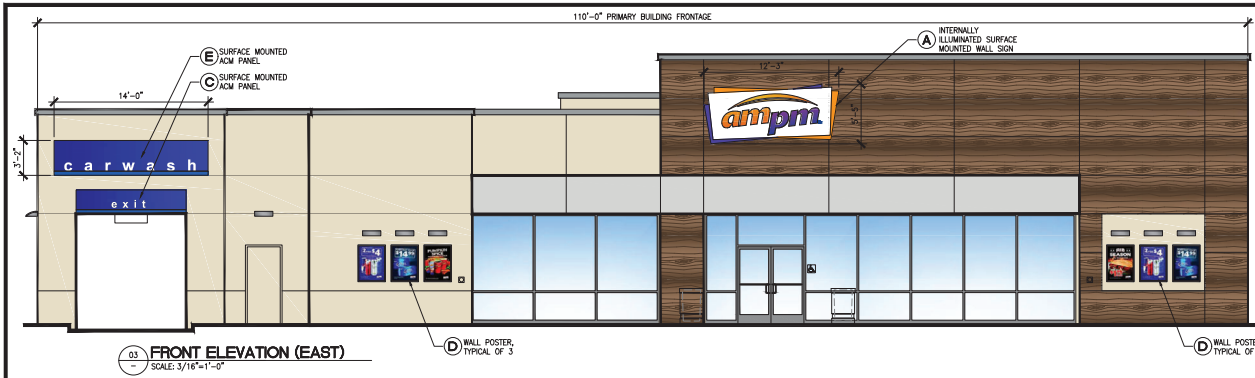
**PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or contractor must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering products.

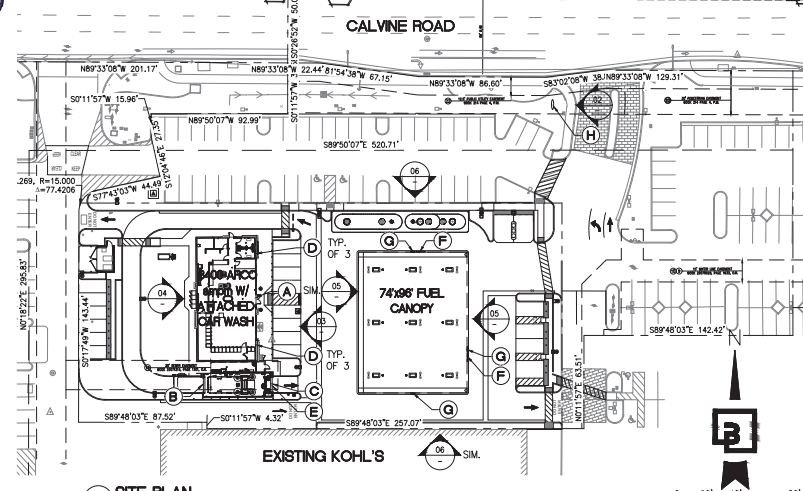
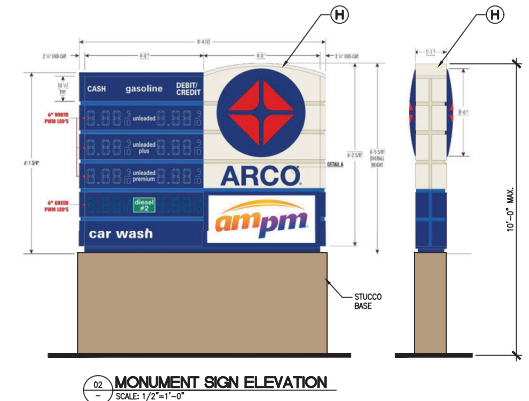
Total Project Watts
Total Watts = 4996.27

ARCO LIGHTING PROPOSAL LD-157806-1
ARCO
CALVINE ROAD
ELK GROVE, CA
DATE: 08/08/23 REV: 02-23 SHEET 1 OF 1
SCALE: 1"=30' 0 30



SIGNAGE TABLE			
KEY	SIGN	QTY.	AREA
A	"ampm" IDENTIFICATION SIGN	1	54.3 S.F.
B	CAR WASH ENTRANCE SIGN (EXEMPT)	1	N/A
C	CAR WASH EXIT SIGN (EXEMPT)	1	N/A
D	POP WALL SIGN (8.33 S.F.)	6	49.98 S.F.
E	"car wash" IDENTIFICATION SIGN	1	44.33 S.F.
ARCO ampm BUILDING TOTAL			148.61 S.F.
F	CANOPY "ARCO" CHANNEL LETTERS (10 S.F.)	2	20 S.F.
G	CANOPY SPARK LOGO SIGN (7.1 S.F.)	3	21.3 S.F.
ARCO FUEL CANOPY TOTAL			41.3 S.F.
H	MONUMENT SIGN	1	50.21 S.F.
SITE TOTAL			240.12 S.F.
ALLOWABLE SITE TOTAL			250 S.F.

*SIGNAGE REQUIREMENT- 1 S.F. PER EACH LINEAR FOOT OF PRIMARY BUILDING FRONTAGE (50 S.F. MAX.)



CLIENT: **bp**

ARCO
BP WEST COAST PRODUCTS, LLC

B

Borghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
252.261.6292
borghausen.com

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03	11/17/23	DESIGN REVIEW RESUBMITTAL
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Not for Construction

DEVELOPMENT INFORMATION:
ARCO NTI
3400 am/pm
FUEL CANOPY w/ 9 MPD's
24x48' CAR WASH

SITE ADDRESS:
CALVINE ROAD
ELK GROVE, CALIFORNIA

FACILITY # TBD

DESIGNED BY	JIMMY	ALLENANCE DATE
CHECKED BY	DIGB	BP REPR
DRAWN BY	JIMMY	ALLENANCE FR
VERSION		PROJECT NO. 22223

DRAWING TITLE: SIGNAGE PLAN

SHEET NO: SN1.1

SCALE: 1"=40'

Exhibit C
Calvine Pointe ARCO AM/PM (PLNG23-017)
Conditions of Approval

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
ON-GOING				
1.	<p>Development and operation of the proposed Project shall be consistent with the Project Description and Project Plans as provided in Exhibits A and B, incorporated herein by this reference.</p> <p>Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.</p>	On-Going	Planning	
2.	<p>This action does not relieve the Applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures.</p>	On-Going	Planning	
3.	<p>The Applicant, or Successors in Interest (hereinafter referred to as the Applicant) shall indemnify, protect, defend, and hold harmless the City, its officers, officials, agents, employees, and volunteers from and against any and all claims, damages, demands, liability, costs, losses or expenses including without limitation court costs, reasonable attorney's fees and expert witness fees arising out of this Project including challenging the validity of this Application/permit or any environmental or other documentation related to approval of this application.</p>	On-Going	Planning	
4.	<p>Except as otherwise specified or provided for in the Project plans or in these conditions, the Project shall conform to the development standards and design requirements adopted by the City of Elk Grove, specifically including but not limited to the following:</p> <ul style="list-style-type: none"> • The Elk Grove Zoning Code (Title 23 of the EGMC) • EGMC Chapter 14.10 (Water Efficient Landscape Requirements) • EGMC Title 16 (Building and Construction) • EGMC Chapter 19.12 (Tree Preservation and Protection) • EGMC Title 22 (Land Development) 	On-Going	Planning	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
5.	<p>The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of the City. Specific locations on median(s) that require emergency vehicle access will be evaluated during review and acceptance of the Improvement Plans.</p> <p>Public sewer, water, and other utility infrastructure shall be designed and constructed with the standards of the appropriate utility.</p>	On-Going	Engineering SCWA SacSewer SMUD PG&E	
6.	<p>The Applicant shall pay all plan check fees, impact fees, or other costs as required by the City, the Cosumnes Community Services District (CCSD), Sacramento Area Sewer District (SacSewer), Sacramento County Water Agency (SCWA), or other agencies or services providers as established by law.</p>	On-Going	Planning Engineering CCSD SCWA SacSewer	
7.	<p>Approval of this project does not relieve the Applicant from the requirements of subsequent permits and approvals, including but not limited to the following as may be applicable:</p> <ul style="list-style-type: none"> • Grading Permit and Improvement Plan • Building Permit and Certificate of Occupancy • Requirements of the Sacramento Metropolitan Air Quality Management District • Fire Department review for permits and/or occupancy 	On-Going	Planning Engineering Building CCSD SCWA SacSewer	
8.	<p>The trash enclosures shall be locked when not in use and well maintained at all times.</p>	On-Going	Code Enforcement Planning	
9.	<p>As to any fee, dedication, reservation or exaction established by these conditions of approval that are subject to the Mitigation Fee Act, notice is hereby given pursuant to California Government Code Section 66020(d) that the 90-day period in which you may protest the fees set forth herein has begun to run as of the date of approval of this Project. Other limitations periods may apply. The City reserves all rights.</p>	On-Going	Planning	

<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>10. If cultural resources or tribal cultural resources are discovered during grading or construction activities on the Project Site, work shall halt immediately within 50 feet of the discovery, the Planning Department shall be notified, and a professional archaeologist meeting the Secretary of the Interior's Professional Qualifications Standards in archaeology shall be retained to determine the significance of the discovery.</p> <p>If resources are determined to be potentially significant, the City shall require the preparation of a treatment plan and report of findings for cultural and tribal cultural resources. The City and the applicant shall consult and agree to implement all measures the City deems feasible. Such measures may include avoidance, preservation in place, excavation, documentation, curation, data recovery, or other appropriate measures. The Applicant shall be required to implement measures necessary for the protection and documentation of cultural resources.</p> <p>A note stating the above shall be placed on the Improvement Plans.</p>	<p>On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first. Monitoring shall be On-Going</p>	<p>Planning</p>	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
11.	<p>Before the start of any earthmoving activities, the project owner shall retain a qualified scientist (e.g., geologist, biologist, paleontologist) to train all construction personnel involved with earthmoving activities, including the site superintendent, regarding the possibility of encountering fossils, the appearance and types of fossils likely to be seen during construction, and proper notification procedures should fossils be encountered. Training on paleontological resources shall also be provided to all other construction workers but may use videotape of the initial training and/or written materials rather than in-person training.</p> <p>If any paleontological resources (fossils) are discovered during grading or construction activities within the project area, work shall be halted immediately within 50 feet of the discovery, and the City Planning Division shall be immediately notified. The project owner will retain a qualified paleontologist to evaluate the resource and prepare a recovery plan in accordance with Society of Vertebrate Paleontology (SVP) guidelines (SVP 2010). The recovery plan may include but is not limited to a field survey, construction monitoring, sampling and data recovery procedures, museum storage coordination for any specimen recovered, and a report of findings. Recommendations in the recovery plan that are determined by the City to be necessary and feasible will be implemented by the applicant before construction activities resume in the area where the paleontological resources were discovered.</p> <p>A note stating the above shall be placed on the Improvement Plans.</p>	<p>On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first. Monitoring shall be On-Going</p>	<p>Planning</p>	
12.	<p>All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California's Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in State CEQA Guidelines Section 15064.5 (d) and (e) shall be followed.</p> <p>A note stating the above shall be placed on the Improvement Plans.</p>	<p>On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first. Monitoring shall be On-Going</p>	<p>Planning</p>	
13.	<p>Water supply shall be provided by the Sacramento County Water Agency (SCWA).</p>	<p>On-Going</p>	<p>SCWA</p>	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
14.	SMUD has existing overhead 69kV and 12kV facilities along Calvine Road (south side of Calvine Road) that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.	On-Going	SMUD	
15.	SMUD has existing underground 12kV facilities along Calvine Road, the western parcel boundary, and on the project parcel that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation	On-Going	SMUD	
16.	In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.	On-Going	SMUD	
17.	SMUD reserves the right to use any portion of its easements on the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.	On-Going	SMUD	
18.	The installation of on-site traffic calming devices such as but not limited to speed bumps, humps or other designs are prohibited unless approved by the fire code official.	On-Going	CCSD Fire	
19.	Lighting within the convenience store shall be an averaged maintained illuminance of thirty (30) foot candles.	On-Going	Police Department	
20.	Lighting at the storefront entrance and sidewalk areas, gasoline pumps and islands, air and water stations, and other customer use areas shall be an average maintained illuminance of at least six (6) foot candles on the pavement.	On-Going	Police Department	
21.	Surrounding and internal sidewalks, footpaths and refuse disposal areas, and grounds, shall be illuminated to a minimum of three (3) foot candles at ground level.	On-Going	Police Department	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
22.	Lighting minimums must be adhered to behind the store as well, as the back parking lot stalls have the potential to become loitering spots.	On-Going	Police Department	
23.	Trash enclosures shall provide natural surveillance and visibility to prevent ambush points and loitering areas. Trash enclosures shall be constructed of either a slotted metal gate to allow visibility into the enclosures or be open at the bottom with a minimum twelve (12) inch vertical visibility not obstructed by landscaping.	On-Going	Police Department	
24.	All landscaping shall be ground cover of two feet or less, shrubbery of three foot or less, and lower tree canopies should be at six feet or greater. This increases natural surveillance and eliminates hiding areas within the landscaping.	On-Going	Police Department	
25.	Lottery, ATM and other machines shall not block primary visibility into the facility. ATM machines shall be located in an area away from exit doors and with good visibility.	On-Going	Police Department	
26.	As regulated in the Elk Grove Municipal Code, window areas, including clear glass doors, shall be kept free of excessive signage so that the visibility inside the store by passerby is not restricted	On-Going	Police Department	
27.	Alcoholic beverages will be maintained in lockable coolers or cabinets in direct observation of the cashier. Coolers or cabinets containing alcoholic beverages shall be locked between the hours of 2:00 A.M. and 6:00 A.M. to prevent thefts and attempts to purchase during these hours	On-Going	Police Department	
28.	To further discourage loiterers, a minimum of two signs shall be posted in the parking lot area that prohibits loitering. These signs shall be in an area where they are clearly visible during nighttime hours, and they shall reference Elk Grove Municipal Code (EGMC) 9.12.010 – Prohibited Loitering	On-Going	Police Department	
29.	Secure fencing around the construction site with locking gates, and appropriate lighting, shall be installed during construction to prevent trespassing and theft. During construction, the Police Department shall be given emergency contact information of contractors and owners for any problems encountered after normal construction hours.	On-Going	Police Department	
30.	All Project car wash operations, including vacuum equipment operations, shall occur within daytime hours only (7:00 a.m. to 10:00 p.m.).	On-Going	Planning	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
PRIOR TO OR IN CONJUNCTION WITH IMPROVEMENT AND/OR GRADING PLAN SUBMITTAL OR APPROVAL				
31.	The Applicant shall comply with and pay the initial deposit of \$5,000 for the Mitigation Monitoring and Reporting Program (MMRP) adopted as part of the Calvine Pointe Project. Until the MMRP deposit has been paid, no grading, building, sewer connection, water connection, or occupancy permit from the City or County will be approved.	Prior to issuance of any plans or permits associated with the Project	Planning	
32.	Construction measures for the new facility and/or on-site work shall be subject to the local requirements for land disturbance.	Prior to Improvement Plans or Grading Permit(s), whichever occurs first.	Planning	
33.	The Project shall comply with the construction measures identified in the Project Noise Study (Bollard Acoustical Consultants, Inc, June 8, 2023). The measures shall be placed as notes on the Improvement Plans.	Improvement Plans	Planning	
34.	Installation of a public cleanout is required at the public right-of-way. These improvements shall be shown on the plans.	Improvement Plans	SacSewer	
35.	SacSewer requires each building on each lot with a sewage source to have a separate connection to SacSewer's sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel must have a separate connection to a private onsite sewer line upstream of any connection to the SacSewer sewer. These improvements must be shown on the plans	Improvement Plans	SacSewer	
36.	SacSewer Design Standards and Specifications require minimum 6-inch lower laterals for commercial and industrial buildings.	Improvement Plans	SacSewer	
37.	All onsite sewer plans and offsite sewer plans must be submitted separately to SacSewer for review and approval.	Improvement Plans	SacSewer	
38.	If any proposed garbage enclosure will contain a drain to the sewer, the enclosure must have a roof.	Improvement Plans	SacSewer	
39.	SacSewer requires the drainage inlet (DI) at the fueling area must have a grade break to direct water away from the inlet. The DI must be below the roof of the fueling area. A sand/oil separator must be installed for the DI connection. These improvements must be shown on the plans.	Improvement Plans	SacSewer	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
40.	All water lines shall be located within a public right-of-way or within easements dedicated to SCWA. Easements shall be reviewed and approved by Sacramento County Water Agency.	Improvement Plans	SCWA	
41.	Abandonment of SacSewer assets per SacSewer Standards Section 302.9 is required. Abandon the 8-inch main line that is on property, as well as, the SacSewer easement. The abandonment shall be shown on the plans.	Improvement Plans	SCWA	
42.	Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property	Improvement Plans	SMUD	
43.	The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be 20-feet wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-feet from the drivable surface.	Improvement Plans	SMUD	
44.	The Applicant shall grant to SMUD a Grant of Easement to cover the existing electrical facilities on the premises	Improvement Plans	SMUD	
45.	The Applicant shall prepare and submit a drainage study to the satisfaction of the City and in accordance with City of Elk Grove Storm Drainage Master Plan, Improvement Standards, General Plan, and any other applicable drainage master plans or studies.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
46.	The Applicant shall prepare and submit a Post-Construction Stormwater Quality Control Plan in accordance with the City of Elk Grove Improvement Standards and most recent version of the Stormwater Quality Design Manual for the Sacramento Region. The Applicant shall also submit a separate maintenance manual describing proper maintenance practices for the specific treatment controls to be constructed.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
47.	Low Impact Development (LID) features adopted in the Sacramento Region Stormwater Quality Manual (Manual) shall be implemented for the Project. All the designs shall be consistent with the design examples prescribed in the latest edition of the Manual.	Improvement Plans or Grading Permit(s), whichever occurs first	Engineering	
48.	The Applicant shall execute a maintenance agreement with the City for stormwater quality control treatment devices to the satisfaction of the City.	Improvement Plans	Engineering	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
PRIOR TO OR IN CONJUNCTION WITH BUILDING PERMIT				
49.	The Applicant shall vacate a portion of the existing 20-foot sewer easement per Book 20071214 Page 1301 to the satisfaction of the City, prior to 1 st Building Permit issuance.	1 st Building Permit	Engineering	
50.	The Applicant shall extend the eastbound U-turn pocket and the westbound left-turn pocket on Calvine Road, adjacent to the Project's frontage, pursuant to the Access and Circulation Study, dated July 24, 2023, and to the satisfaction of the City.	Building Permit	Engineering	
51.	The Applicant shall provide onsite striping and signage pursuant to the Access and Circulation Study, dated July 24, 2023, and to the satisfaction of the City.	Building Permit	Engineering	
52.	The Applicant shall pay a fair-share cost towards the widening of Calvine Road, Elk Grove-Florin Road, pursuant to the mitigation measures of the Calvine Pointe Project (EG-00-156), and to the satisfaction of the City.	Building Permit	Engineering/ Planning	
53.	The Applicant shall reconstruct any damaged curb, gutter, sidewalk and/or pavement caused by construction-related activities associated with the Project site. If pavement replacement is necessary, as determined by the City, the Applicant may be required to grind, overlay, and/or slurry seal the damaged portion(s) in accordance with the City Improvement Standards and to the satisfaction of the City. The Applicant shall schedule an inspection with the City to document the pre-construction condition of existing surface infrastructure adjacent to and near the Project.	Building Permit	Engineering	
54.	The Applicant shall reconstruct any existing ADA compliance improvements adjacent to the Project to meet current standards.	Building Permit	Engineering	

<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>55. Prior to the issuance of building permit(s) or approval of the improvement plan, whichever comes first, the property owner(s) shall: (1) approve (a) the formation of a new or annexation into an existing community facilities district (“CFD”) and (b) an annual CFD special tax; or (2) deposit a sum money, as determined by the Cosumnes Community Services District (“CCSD”), sufficient for the CCSD to fund a portion of the cost of the CCSD’s costs of providing ongoing fire and emergency services, maintenance, operation, and repair and replacement of fire facilities, apparatus, and equipment, and, in areas not located within the Laguna Ridge Specific Plan (LRSP) or the South East Policy Area (SEPA), to fund a portion CCSD’s costs of providing routine and deferred maintenance and replacement of park facilities, trails and landscape corridors attributable to the property and replacement of district wide facilities attributable to the property. Any costs for the formation of the new or annexation into an existing CFD, and approval of such annual CFD special taxes, or administration of the sum of money deposited to fund the CCSD’s costs of providing ongoing fire and emergency services, and maintenance of park facilities, trails, and landscape corridors, shall be paid from the annual CFD special taxes or the sum of money deposited with the CCSD. If the property owner(s) fails to approve an annual CFD special tax or deposit a sum of money as provided for herein for such purposes for the CCSD, no further building permits for the property shall be issued nor approval of the improvement plan shall be provided. It is the responsibility of the applicant or their representative to contact the Finance Division at the CCSD at 916 405 5600 to initiate the Community Facilities District process.</p>	Building Permit	CCSD Fire	
<p>56. Approved radio coverage for emergency responders shall be provided. A test conducted by a licensed contractor shall be performed at building or project completion to determine if the public safety communication system is adequate for emergency responder radio coverage. Buildings that cannot support the required level of radio coverage shall install a distributed antenna system with FCC certified signal boosters subject to Cosumnes Fire Department review and approval.</p>	Certificate of Occupancy	CCSD Fire	

<u>Conditions of Approval</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
57.	The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if Regional San sewer impact fees are due. Fees are to be paid prior to the issuance of building permits.	Building Permit	SacSewer	
58.	Separate public water shall be provided to each building.	Building Permit	SCWA	
59.	Structural setbacks less than 14-feet shall require the Applicant to conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained.	Building Permit	SMUD	
60.	<i>The Applicant shall conduct a water use efficiency review.</i>	Building Permit	SCWA	
61.	<i>The Applicant shall require efficient cooling systems and water recycling systems for vehicle washing as a condition of service.</i>	Building Permit	SCWA	
62.	The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).	Building Permit	SMUD	
63.	The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: https://www.smud.org/en/business/customer-service/support-and-services/design-construction-services.htm	Building Permit	SMUD	
64.	The Applicant shall comply with the City's Climate Action Plan (CAP) as follows: <ul style="list-style-type: none"> • Comply with CALGreen Non-Residential Tier 1 energy efficiency standards (BE-4); • Solar readiness (BE-7); • 25% of the off-road construction fleet used during construction shall include Environmental Protection Agency certified off-road Tier 4 diesel engines (TACM-8); and • Install electric vehicle (EV) charging stations and "EV Ready" parking stalls consistent with EGMC Table 23.58-7 (TACM-9). 	Building Permit	Planning	

CERTIFICATION
ELK GROVE CITY COUNCIL RESOLUTION NO. 2024-024

STATE OF CALIFORNIA)
COUNTY OF SACRAMENTO) ss
CITY OF ELK GROVE)

I, Jason Lindgren, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on February 28, 2024 by the following vote:

AYES: COUNCILMEMBERS: Singh-Allen, Brewer, Spease, Suen

NOES: COUNCILMEMBERS: None

ABSTAIN: COUNCILMEMBERS: None

ABSENT: COUNCILMEMBERS: Robles



Jason Lindgren, City Clerk
City of Elk Grove, California